# ADVANCE AUTO PARTS STORE 105349 4121 OLEANDER DRIVE WILMINGTON, NORTH CAROLINA CONSTRUCTION DOCUMENTS NOVEMBER 2016

# NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

# CONTACT THESE UTILITIES

**CITY OF WILMINGTON PLANNING & DEVELOPMENT** ATTN: BRIAN CHAMBERS, PLANNER PH: 910-342-2782

ATTN: ZONING INSPECTIONS PH: 910-254-0900

PIEDMONT NATURAL GAS ATTN: CATHY PLEASANT PH: 910-251-2827

EMERGENCY DIAL 911 **POLICE - FIRE - RESCUE** 



Know what's **below**. Call before you dig.

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER) ENGINEERING/INSPECTIONS PH: 910-332-6560

OPERATIONS/MAINTENANCE PH: 910-322-6550

DUKE ENERGY DEP CSC PH: 1-800-452-2777

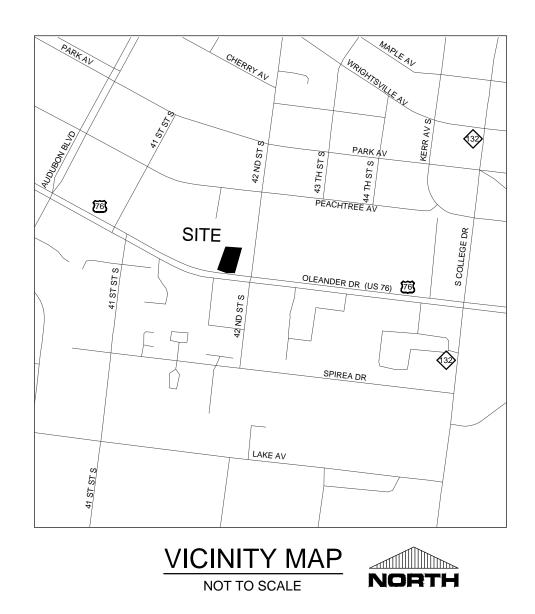
AT&T/BELL SOUTH ATTN: JAMES BATSON, ENGINEERING PH: 910-341-1621

TIME WARNER CABLE PH: 910-763-4638



# FOR

4121 OLEANDER DRIVE, LLC 1131-B Military Cutoff Road, Wilmington, NC 28405



PROPERTY OWNER/DEVELOPER:

4121 OLEANDER DRIVE, LLC 1131-B MILITARY CUTOFF ROAD WILMINGTON, NC 28405 ATTN: CLAUDE ARNOLD OR JASON SWAIN PHONE: (910) 256-2211

LAND SURVEYOR, LANDSCAPE ARCHITECT & CIVIL ENGINEER:

PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 ATTN: J. BRANCH SMITH, PE PHONE: (910) 791-6707

SHEET INDEX			
SHEET NUMBER SHEET TITLE			
COVER SHEET			
C-1.0	GENERAL NOTES		
C-2.0	SITE INVENTORY (DEMOLITION) PLAN		
C-2.1	SITE AND UTILITY PLAN		
C-3.0	GRADING AND DRAINAGE PLAN		
C-4.0	DETAILS		
L-1.0	LANDSCAPE PLAN		



122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 PROJECT # 15332.PE



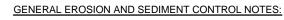
RELEASED FOR CONSTRUCTION

## COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

# GENERAL NOTES:

- TREE INVENTORY, BOUNDARY, AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS. ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- 6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER 11. TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- 11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES. 14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE
- DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER AND ENGINEER.
- 17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
- 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
- 22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.



- THIS PROPERTY IS NOT SUBJECT TO THE NC SEDIMENTATION CONTROL ACT IN REG AN EROSION CONTROL PERMIT SINCE THE LAND DISTURBANCE IS UNDER 1.0 ACRE. SEDIMENTATION CONTROL WILL BE A REQUIREMENT OF THE CONTRACTOR DURING AND CONSTRUCTION.
- ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL B SEEDED AS INDICATED AND STABILIZED.
- 3. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED F PRIOR TO DISCHARGE TO RECEIVING OUTLET.

# DEMOLITION NOTES:

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RE SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROV PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EX
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STE STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIA STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL EN INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARIN AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AN PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR A OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROC CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEV 6. COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURIN AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPE DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHA FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD ANI UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER U THE SITE WITH THE RESPECTIVE COMPANIES.
- CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVER 10. REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, ST 12. REGULATIONS AS WELL AS OSHA REGULATIONS.
- 13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AV BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION PITS.

# TRAFFIC NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMEN PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARI
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTAC MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING BE REQUIRED.
- CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGN AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBIN REPLACED.
- TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

### UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906) WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPA FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.

- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- 3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 5. WHERE VERTICAL CLEARANCE IS LESS THAT 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- 2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. 4. A MINIMUM OF 4' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS
- FROM OTHER UNDERGROUND UTILITIES. 5. UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY
- NEW HANOVER COUNTY FIRE SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S).
- 6. ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- 7. LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.



Call before you dig

	ERC	SION CONTROL AND SEQUE	NCE OF CONSTRUC	CTION NOTES:		
ARDS TO OBTAINING HOWEVER, ONSITE ANY DISTURBANCE	"PH PR( DE\	TE: THESE EROSION CONTR ASE" OF CONSTRUCTION. DJECT IS DEVELOPED; WHE /ICES/MEASURES MUST RE ROVEMENTS WITHIN THE D	THE ORDER AND THER AS A WHOL MAIN IN PLACE UI	STEPS TAKEN MUST BE I E OR IN PHASES. ANY E NTIL THE ENTIRE DISTUR	MPLEMENTED AS EACH PA ROSION CONTROL	ART OF THE
BE SODDED OR	1.	CONSTRUCT TEMPORARY DISTURBANCE, TREE PRO				
FILTERING DEVICE	2.	CLEAR AND REMOVE FROM	M SITE TREES AS	DESIGNATED, ROOTS, RO		AREA
	3.	CONSTRUCT TEMPORARY			IMMER, OUTLET PIPE, SPIL	LWAY, ETC.
ELOCATE EXISTING	4.	INSTALL REMAINING EROS DISTURBED. ALL EROSION CONSTRUCTION.			-	REA
DEMOLITION	5.	PLANT GRASS OVER ALL G ACTIVITY.	GRADED AREAS W	ITHIN 14 WORKING DAYS	OF CEASE OF ANY GRADI	NG
VEMENTS WILL BE CAVATION. AND OFFSITE	6.	IMMEDIATELY UPON THE IN CONTRACTOR SHALL INST DRAINAGE SYSTEM.				
EPS, AND ALS CLEARED AND IGINEER FOR THE IG AND GRADING AND	7.	THE CONTRACTOR SHALL CONDITIONS ANY AREAS C THE FAILURE OF THE EROS	OUTSIDE THE PRO	JECT LIMITS THAT MAY I		
ID UTILITIES ON THE TO THE	8.	DURING GRADING AND AF MAINTAIN PERMANENT AN ENGINEER OR EROSION CO	D TEMPORARY EF	ROSION CONTROL MEAS		
AT NO COST TO	9.	UPON RECEIVING FINAL AF MEASURES.	PPROVAL, THE CC	NTRACTOR CAN REMOV	E TEMPORARY EROSION C	ONTROL
S THAT SERVICE CESS BY THE	10.	THE CONTRACTOR SHALL AREAS UNTIL ALL CONSTR			ND MAINTAIN GRASS & PLA	NTED
	ERC	SION CONTROL MAINTENA	NCE PLAN:			
VELOPMENT N HAS BEGUN. NG CONSTRUCTION EARS AFTER		ALL EROSION AND SEDIME FOLLOWING EVERY RUNOF ANY NEEDED REPAIRS WIL	F- PRODUCING R	AINFALL BUT IN NO CASE	LESS THAN ONCE EVERY	WEEK.
FOR DEMOLITION		ALL CONSTRUCTION ENTRA OF #4 STONE TO MAINTAIN IMMEDIATELY REMOVED.				
ALL INCLUDE REMOVAL		SEDIMENT WILL BE REMOV FENCE. THE SEDIMENT FEN FENCE STAKES MUST BE S BACKING. STAKE SPACING	NCE WILL BE BE R TEEL, AND SPACE	EPAIRED AS NECESSARY D 6 FEET MAX. WITH EXT	( TO MAINTAIN A BARRIER. TRA STRENGTH FABRIC AN	SILT ID NO WIRE
ND UNDERGROUND ITILITIES THROUGH		BACKING ARE USED. IF ROO SEDIMENT FENCE THE ROO SEDIMENT, NO LONGER DR	CK FILTERS (OR E CK OR WATTLE WI	XCELSIOR WATTLES) AR LL BE REPAIRED OR REF	E DESIGNED AT LOW POIN	TS IN THE
ERHEAD LINES AND		ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.				
D SIDEWALKS TO BE		INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT ( $\frac{1}{2}$ INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY SEDIMENT AND DEBRIS WHEN IT REACHES HALF OF THE DEPTH OF THE ROCK TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.				
AILABLE RECORDS, IS BY DIGGING TEST	-	SEDIMENT BASIN/SEDIMEN DIMENSIONS WHEN IT ACC AREA WITH SEDIMENT CON DAMAGE, PIPING, AND SET TRASH AND OTHER DEBRIS	UMULATES TO WI ITROLS. CHECK T TLEMENT. MAKE	THIN ONE HALF OF THE I THE EMBANKMENT, SPILL ALL NECESSARY REPAIR	DESIGN DEPTH. PLACE SE WAYS, AND OUTLET FOR I	DIMENT IN EROSION
		SKIMMER - INSPECT SKIMM THE INTAKE MECHANISM, C THE BASIN IS DRY, MAKE S SKIMMER DOWN. TAKE SPI WITH ICE.	ORIFICE, OR DISCH URE THAT ANY VE	HARGE PIPE IS NOT CLOC EGETATION GROWING ON	GGED WITH TRASH OR SEL NTHE BOTTOM IS NOT HOL	DIMENT. IF DING THE
) BE		OUTLET PROTECTION - INS OR GREATER) RAINFALL EV PLACE, OR IF STONES HAVI FURTHER DAMAGE.	/ENTS TO SEE IF /	ANY EROSION AROUND (	OR BELOW THE RIP RAP HA	S TAKEN
EAS OPEN TO DEVICES)	9.	EMERGENCY SPILLWAY / FO INTEGRITY OF THE LINED S NEEDED REPAIRS TO PREV	PILLWAY AND TH	E ADJACENT EARTHEN B MAGE. REPAIR ANY VOI	ANKS. IMMEDIATELY MAK DS IN THE RIP RAP LINED	E ALL
WAY ARE TO BE DS.		RE-ESTABLISH ANY LOOSE GRASS SWALES - INSPECT				SS HAS
SHALL BE WHITE.		BEEN ESTABLISHED INSPE GREATER) RAINFALL EVEN	CT THE SWALES F T AND REPAIR IMI	PERIODICALLY AND AFTE MEDIATELY. INSPECT TH	R EVERY HEAVY (½ INCH O E CHANNEL OUTLET AND /	R
CT 341-5888 FOR G OPEN CUT MAY		CROSSINGS FOR BANK STA SIGNIFICANT SEDIMENT AC GRASS IN A HEALTHY, VIGC PROTECTION FOR THE CHA	CUMULATIONS TO DROUS CONDITION	O MAINTAIN THE DESIGN	ED CARRYING CAPACITY.	
NAL FACILITIES -EIGHT (48) HOURS						
NG SHALL BE		PERMANENT SEE	DING			
U UIALL DE		GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE	
		BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT FEB.	BY SOIL TEST	
RATION OF 10 FEET		CENTIPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)	

TALL FESCUE

(COASTAL CULTIVAR

SLOPES >= 2:1

CENTIPEDE SERICEA

**TEMPORARY SEEDING** 

LESPEDEZA

GRASS TYPE

RYE GRAIN

RECOMMENDED)

### SWEET SUDAN JUNE - AUGUST 400 LBS/AC. 10-20-20 50 GRASS GERMAN or JUNE - AUGUST 400 LBS/AC. 10-20-20 BROWNTOP MILLET STRAW MULCH 4,000 AS NEEDED <u>STABILIZATION TIME FRAMES:</u> \*IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY,

LBS/ ACRE

50

CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT. <u>NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE:</u> DENUDED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE

OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.

MARCH - AUGUST

JAN - DEC

TIME OF

SEEDING

OCT. - APR.

NPDES WATER QUALITY STABILIZATION TIME FRAMES				
SITE AREA DESCRIPTION	STABILIZATI	ON TIMEFRAME EXCEPTIONS		
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE		
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE		
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED		
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH		
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES		

# NC ACCESSIBILITY NOTES:

- GENERAL NOTES SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH I ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APP REGULATIONS.
- 2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE. THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
- THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- 3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%
- 4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- 5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
- WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM .\* SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES\*
- 9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALLPROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE: OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- 10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- 12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS

RAMP NOTES: 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.

- THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- 3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
- 4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- 5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- 6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
- 9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS). THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

# CURB RAMP NOTES:

300 LB/AC 10-20-20

OR BY SOIL TEST

BY SOIL TEST

FERTILIZER

LIMESTONE

400 LBS/AC. 10-20-20

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- 2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- 3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. \*NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).\*
- 4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
- 5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- 6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- 7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES
- 8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- 9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- 10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
- 11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
- 13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
- 14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

DISABILITIES ACT (2010
PLICABLE LOCAL LAWS &

- NC ACCESSIBILITY NOTES CONTD PARKING SPACE NOTES:
- 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
- 2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES. THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES. ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FORACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
- 4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE
- 5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
- 6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM. 7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPTFOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
- 8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE CHANGES IN LEVEL ARE NOT PERMITTED
- 9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
- 10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE
- 11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
- 12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
- 13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALI COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE, SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
- 14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT). PASSENGER LOADING ZONE NOTES:
- PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
- PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY
- 3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
- 4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
- 5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT
- 6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM
- ACCESSIBLE ENTRANCE NOTES:
- ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES AC (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.
- GENERAL STORM SEWER NOTES
- DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- DRAWINGS AND/OR SPECIFICATIONS.
- 3. INDICATED OTHERWISE ON PLANS.

ROOF DRAIN NOTE:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE

# WETLAND NOTES:

IMMEDIATELY.

2.

- 1) THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.
  - For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.
  - Public Services 

    Engineering Division
  - APPROVED PLAN NO PERMIT REQUIRED

# Approved Construction Plan

<u>Date</u>

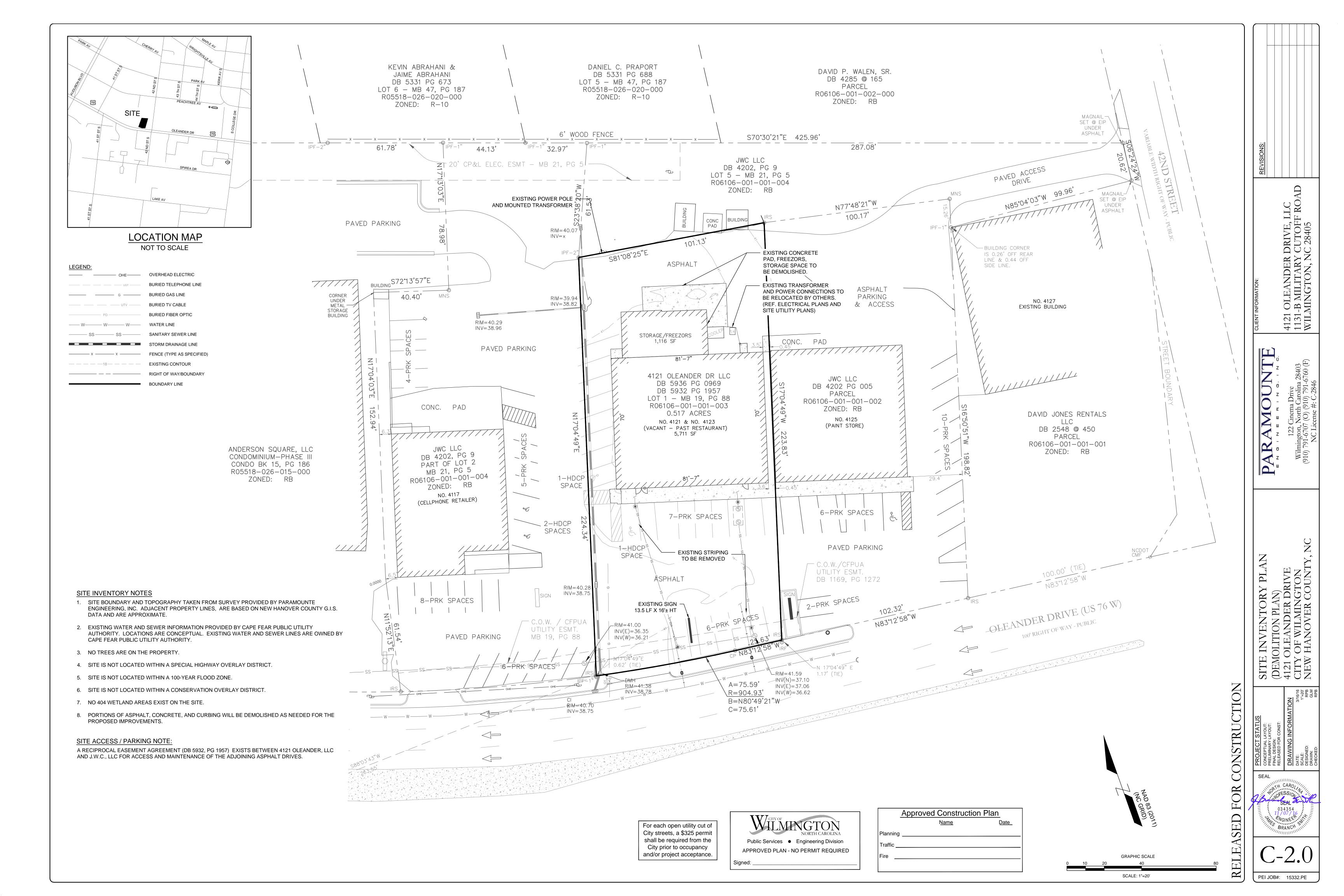
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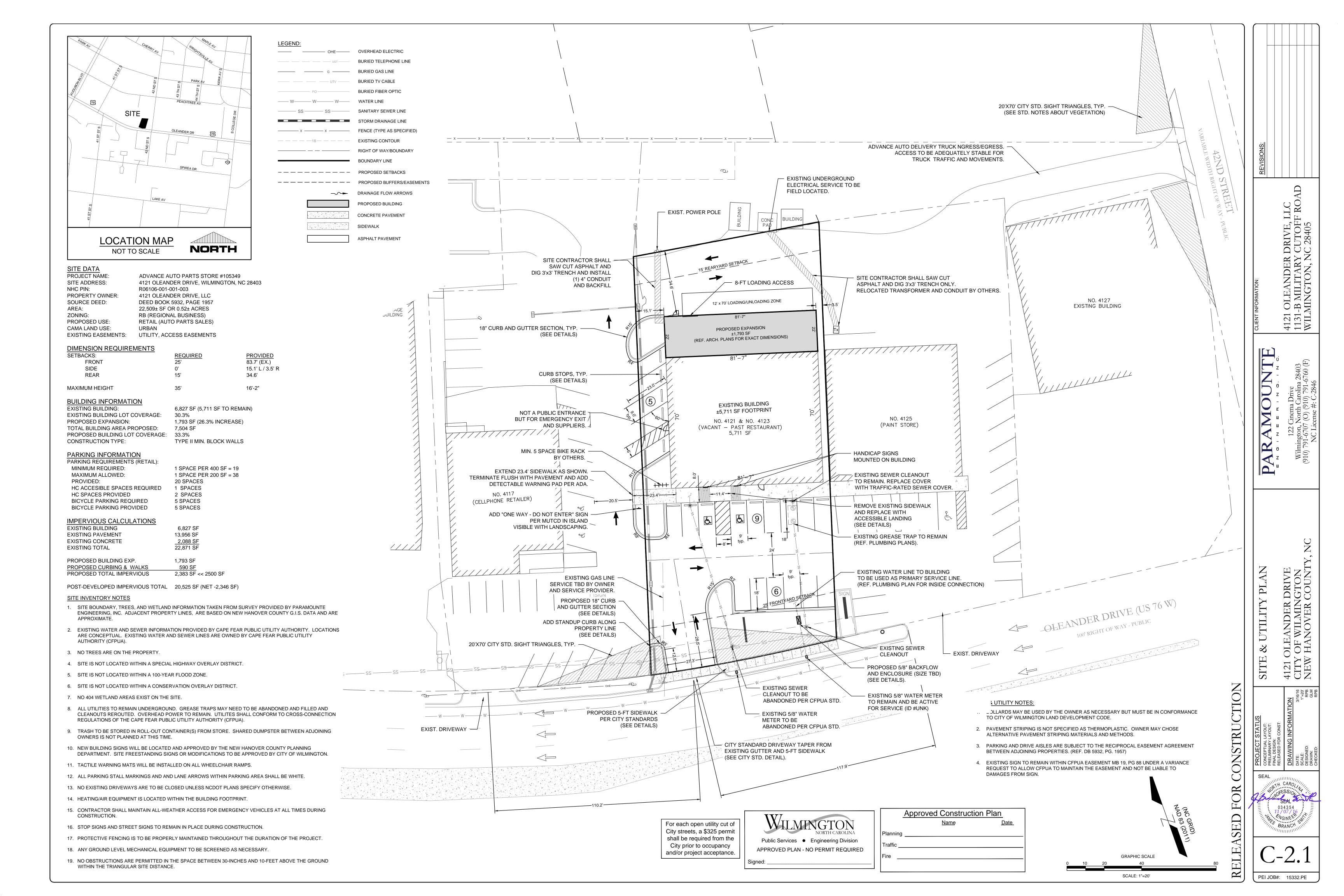
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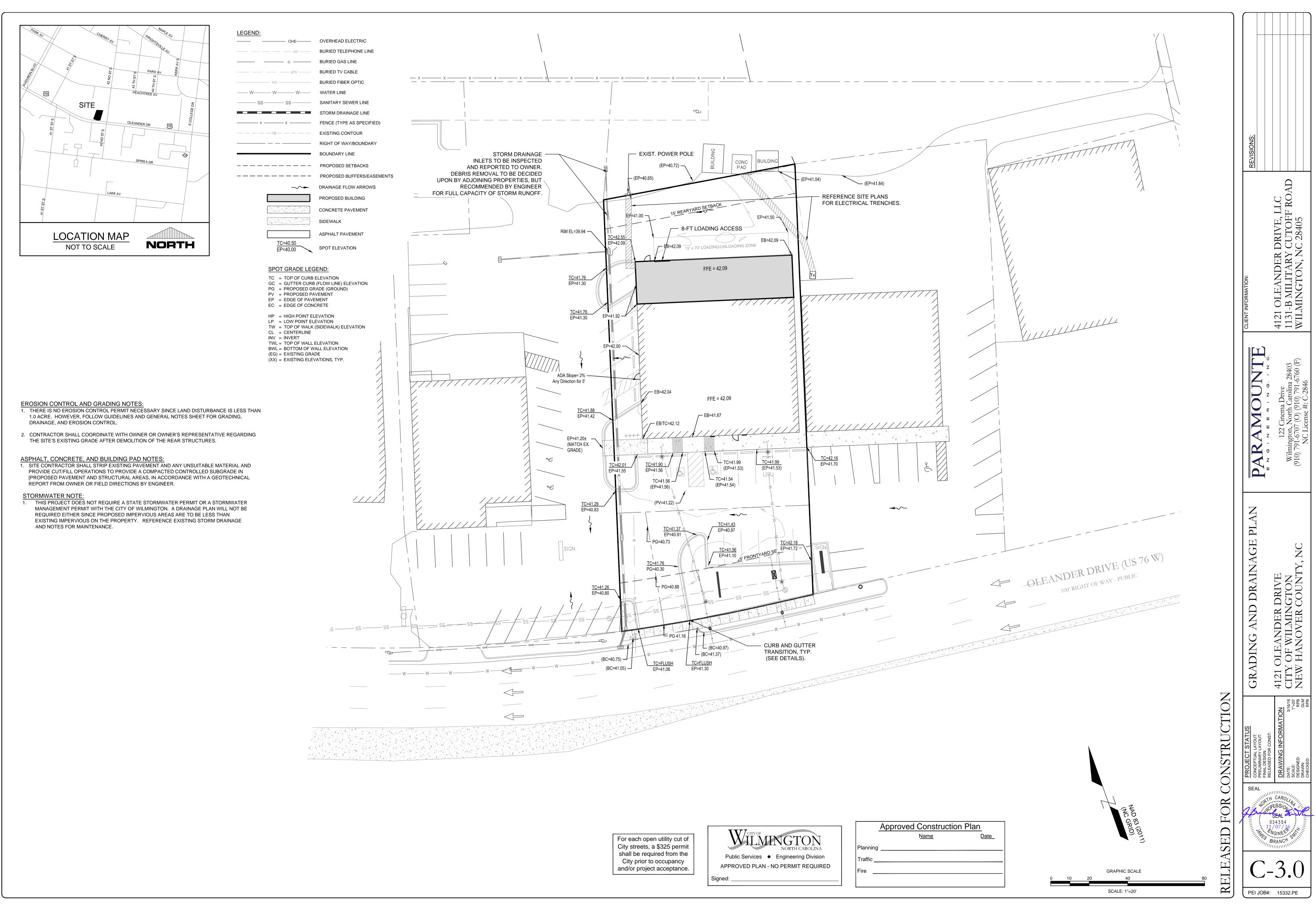
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- ALL STORM SEWERS SHALL BE CONSTRUCTED AS SPECIFIED ON THE BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS
- PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

# EXISTING UTILITY NOTES:

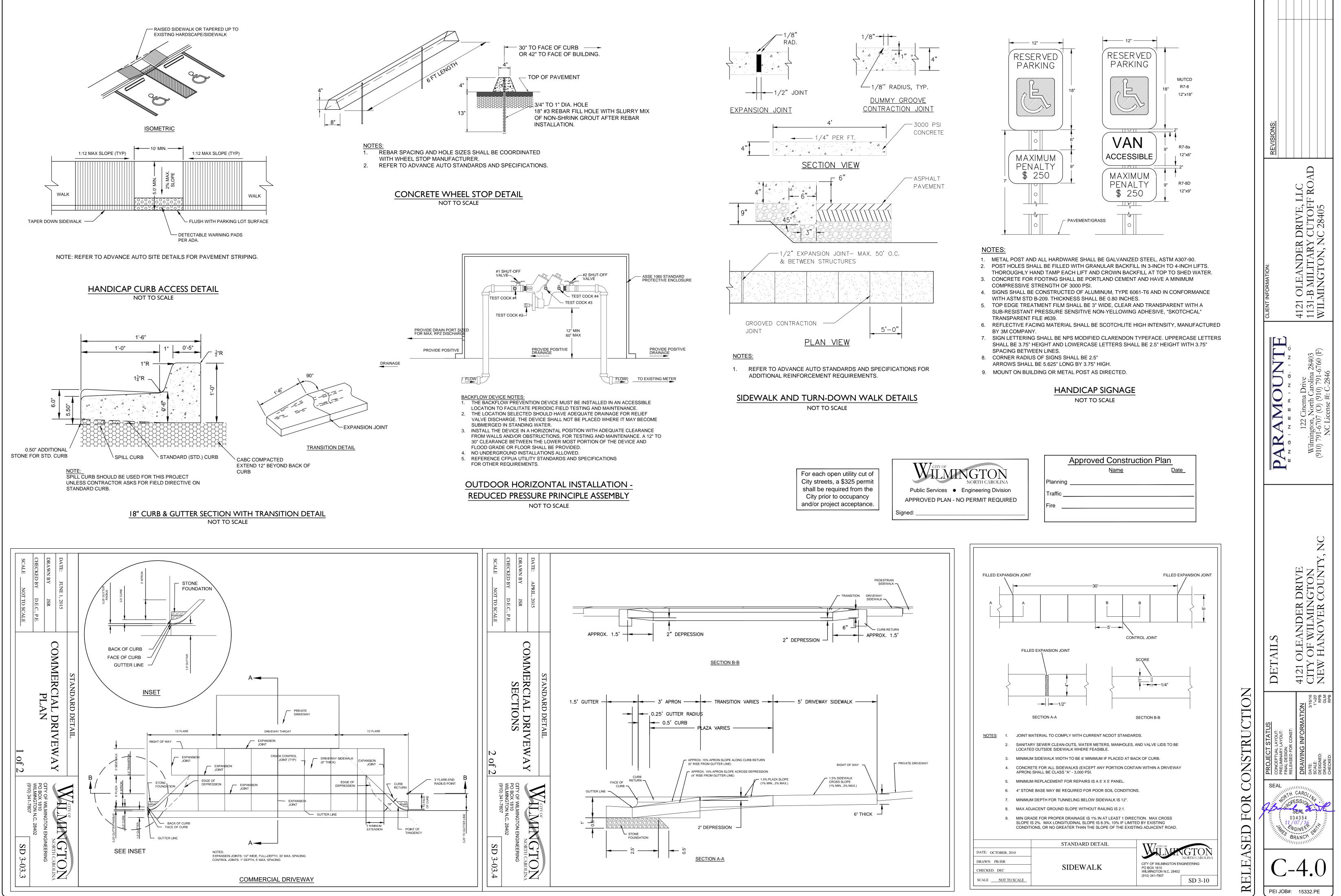


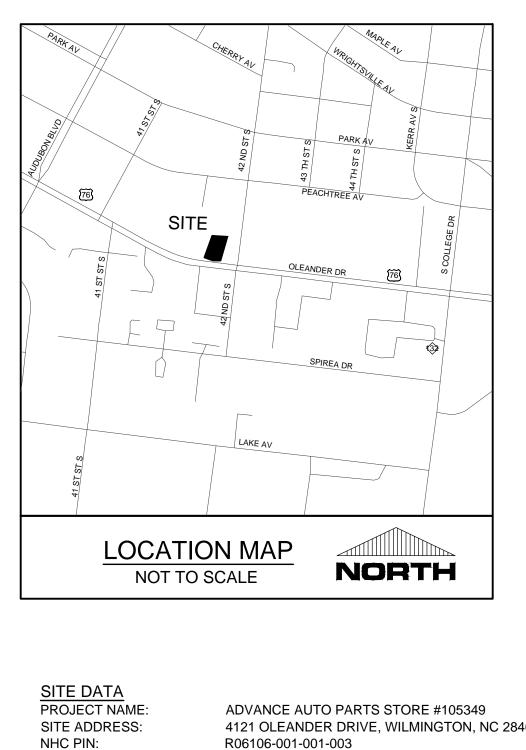




WILM	NGTO NORTH CAROL
Public Services	Engineering Div

	Approve
Planning	
Traffic	
Fire	





LEGEND:	
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OVERHEAD ELECTRIC BURIED TELEPHONE LINE BURIED GAS LINE BURIED TV CABLE BURIED FIBER OPTIC WATER LINE SANITARY SEWER LINE STORM DRAINAGE LINE FENCE (TYPE AS SPECIFIED) EXISTING CONTOUR RIGHT OF WAY/BOUNDARY BOUNDARY LINE PROPOSED SETBACKS PROPOSED BUFFERS/EASEMENTS DRAINAGE FLOW ARROWS PROPOSED BUILDING CONCRETE PAVEMENT SIDEWALK ASPHALT PAVEMENT

4121 OLEANDER DRIVE, WILMINGTON, NC 28403 R06106-001-001-003 4121 OLEANDER DRIVE, LLC DEED BOOK 5932, PAGE 1957 22,509± SF OR 0.52± ACRES RB (REGIONAL BUSINESS) RETAIL (AUTO PARTS SALES) URBAN EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

DIMENSION REQUIREMENTS

(6% OF VEHICULAR USE AREA)

(4 TREES @ 707 SF = 2,828)

INTERIOR LANDSCAPING PROVIDED

12,431 SF x 0.06 = 746

PROPERTY OWNER:

SOURCE DEED:

PROPOSED USE:

CAMA LAND USE:

AREA: ZONING:

DIMENSION REQUIREMENTS SETBACKS: FRONT SIDE REAR	<u>REQUIRED</u> 25' 0' 15'	PROVIDED 83.7' (EX.) 15.1' L / 3.5' R 34.6'
MAXIMUM HEIGHT	35'	16'-2"
BUILDING INFORMATION EXISTING BUILDING: EXISTING BUILDING LOT COVERAGE: PROPOSED EXPANSION: TOTAL BUILDING AREA PROPOSED: PROPOSED BUILDING LOT COVERAGE: CONSTRUCTION TYPE:	6,827 SF (5,711 SF TO R 30.3% 1,793 SF (26.3% INCREA 7,504 SF 33.3% TYPE II MIN. BLOCK WA	SE)
PARKING INFORMATION PARKING REQUIREMENTS (RETAIL): MINIMUM REQUIRED: MAXIMUM ALLOWED: PROVIDED: HC ACCESIBLE SPACES REQUIRED HC SPACES PROVIDED BICYCLE PARKING REQUIRED BICYCLE PARKING PROVIDED	1 SPACE PER 400 SF = 7 1 SPACE PER 200 SF = 3 20 SPACES 1 SPACES 2 SPACES 5 SPACES 5 SPACES 5 SPACES	
LANDSCAPE CALCULATIONS STREETYARD REQUIRED [(LENGTH OF PROPERTY FRONTAGE - DF [(101 LF - 36 LF)] x 25 x 1/2 = 813 SF	RIVEWAY) X 25] x 1/2*	813 SF
STREET YARD PROVIDED		1,329 SF
STREET YARD TREES REQUIRED (0.5 / 60	00 SF)	2
STREET YARD TREES PROVIDED		2
STREET YARD SHRUBS REQUIRED (3 / 60	00 SF)	6
STREET YARD SHRUBS PROVIDED		19
INTERIOR LANDSCAPING REQUIRED		746 SF

LANT SCHED	JLE					
REES	CODE	COMMON NAME	SIZE		QTY	REMARKS
•	LO	SOUTHERN LIVE OAK Quercus virginiana	2.5" CAL.		6	
HRUBS	CODE	COMMON NAME	CONT		QTY	REMARKS
$\bigcirc$	DYH	DWARF YAUPON (5` X 5`) Ilex vomitoria `Nana`	3 GAL		19	
ROUND COVERS	CODE	COMMON NAME	CONT	SPACING	QTY	REMARKS
	AJ	ASIATIC JASMINE Trachelospermum asiaticum `Asiatic`	1 GAL	18" o.c.	438	

2,828 SF

