

# ADVANCE AUTO PARTS STORE 105349

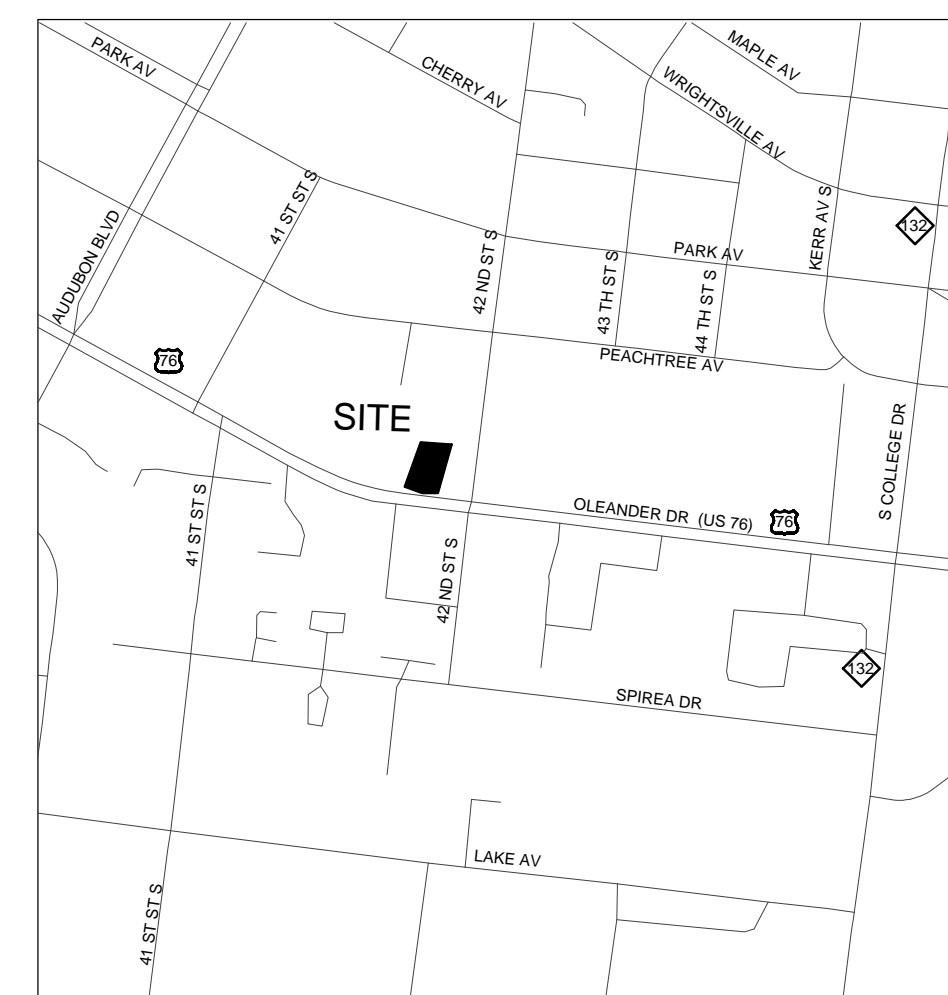
4121 OLEANDER DRIVE  
WILMINGTON, NORTH CAROLINA

## CONSTRUCTION DOCUMENTS

NOVEMBER 2016

FOR

4121 OLEANDER DRIVE, LLC  
1131-B Military Cutoff Road, Wilmington, NC 28405



VICINITY MAP  
NOT TO SCALE

**PROPERTY OWNER/DEVELOPER:**

4121 OLEANDER DRIVE, LLC  
1131-B MILITARY CUTOFF ROAD  
WILMINGTON, NC 28405  
ATTN: CLAUDE ARNOLD OR JASON SWAIN  
PHONE: (910) 256-2211

**LAND SURVEYOR, LANDSCAPE ARCHITECT & CIVIL ENGINEER:**

PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: J. BRANCH SMITH, PE  
PHONE: (910) 791-6707

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

**CONTACT THESE UTILITIES**

**CITY OF WILMINGTON PLANNING & DEVELOPMENT**

ATTN: BRIAN CHAMBERS, PLANNER  
PH: 910-342-2782

ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

**PIEDMONT NATURAL GAS**  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

**EMERGENCY DIAL 911**  
POLICE - FIRE - RESCUE

**CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)**

ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

**DUKE ENERGY**  
DEP CSC PH: 1-800-452-2777

**AT&T/BELL SOUTH**  
ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1621

**TIME WARNER CABLE**  
PH: 910-763-4639



Know what's below.  
Call before you dig.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**Approved Construction Plan**

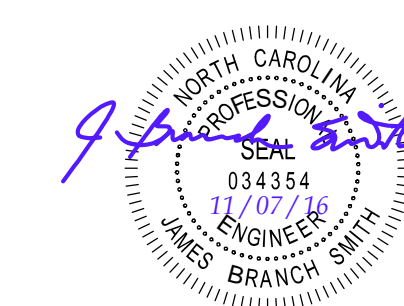
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Signed: \_\_\_\_\_



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE INVENTORY (DEMOLITION) PLAN
C-2.1	SITE AND UTILITY PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	DETAILS
L-1.0	LANDSCAPE PLAN



122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846  
PROJECT # 15332.PE

RELEASED FOR CONSTRUCTION



**COORDINATION NOTES:**

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK...

**GENERAL NOTES:**

- 1. TREE INVENTORY, BOUNDARY, AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC...

**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

- 1. THIS PROPERTY IS NOT SUBJECT TO THE NC SEDIMENTATION CONTROL ACT IN REGARDS TO OBTAINING AN EROSION CONTROL PERMIT SINCE THE LAND DISTURBANCE IS UNDER 1.0 ACRE.
2. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODED OR SEEDED AS INDICATED AND STABILIZED.
3. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

**DEMOLITION NOTES:**

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES...

**TRAFFIC NOTES:**

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.

**UTILITY NOTES: (NCCAC 15A-02T-0305 / T15A 18C 0906)**

- 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS.
2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER.
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS...

**FIRE & LIFE SAFETY NOTES:**

- 1. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
4. A MINIMUM OF 4' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.

**EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:**

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. CONSTRUCT TEMPORARY SEDIMENT BASIN(S) AND ASSOCIATED SKIMMER, OUTLET PIPE, SPILLWAY, ETC.

**EROSION CONTROL MAINTENANCE PLAN:**

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF. PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED AT THE FENCE.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

**PERMANENT SEEDING**

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Bermuda, Centipede, Tall Fescue, and Slopes >= 2:1 Centipede/Seicea Lespedeza.

**TEMPORARY SEEDING**

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Rye Grain, Sweet Sudan Grass, and Straw Mulch.

**STABILIZATION TIME FRAMES:**

IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT. NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE: DENuded AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY...

NPDES WATER QUALITY STABILIZATION TIME FRAMES table with columns: SITE AREA DESCRIPTION, STABILIZATION TIMEFRAME EXCEPTIONS. Rows include Perimeter Dikes, High Quality Water (H2O) Zones, Slopes Steeper Than 3:1, Slopes 3:1 or Flatter, and All Other Areas.

**NC ACCESSIBILITY NOTES:**

- NOTE: THESE ACCESSIBILITY NOTES ARE INTENDED FOR COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT...

**ACCESSIBLE ROUTE NOTES:**

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.

**RAMP NOTES:**

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1).
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION.

**CURB RAMP NOTES:**

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM.

**NC ACCESSIBILITY NOTES CONTD:**

- PARKING SPACE NOTES:**
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESSIBLE AISLES SHALL BE 60 INCHES WIDE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.

**PASSENGER LOADING ZONE NOTES:**

- 1. PASSENGER LOADING ZONE SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.

**ACCESSIBLE ENTRANCE NOTES:**

- 1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

**GENERAL STORM SEWER NOTES:**

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS AND/OR SPECIFICATIONS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

**ROOF DRAIN NOTE:**

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

**EXISTING UTILITY NOTES:**

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS.

**WETLAND NOTES:**

- 1) THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington logo and text: Public Services • Engineering Division APPROVED PLAN - NO PERMIT REQUIRED Signed: \_\_\_\_\_

Approved Construction Plan Name \_\_\_\_\_ Date \_\_\_\_\_

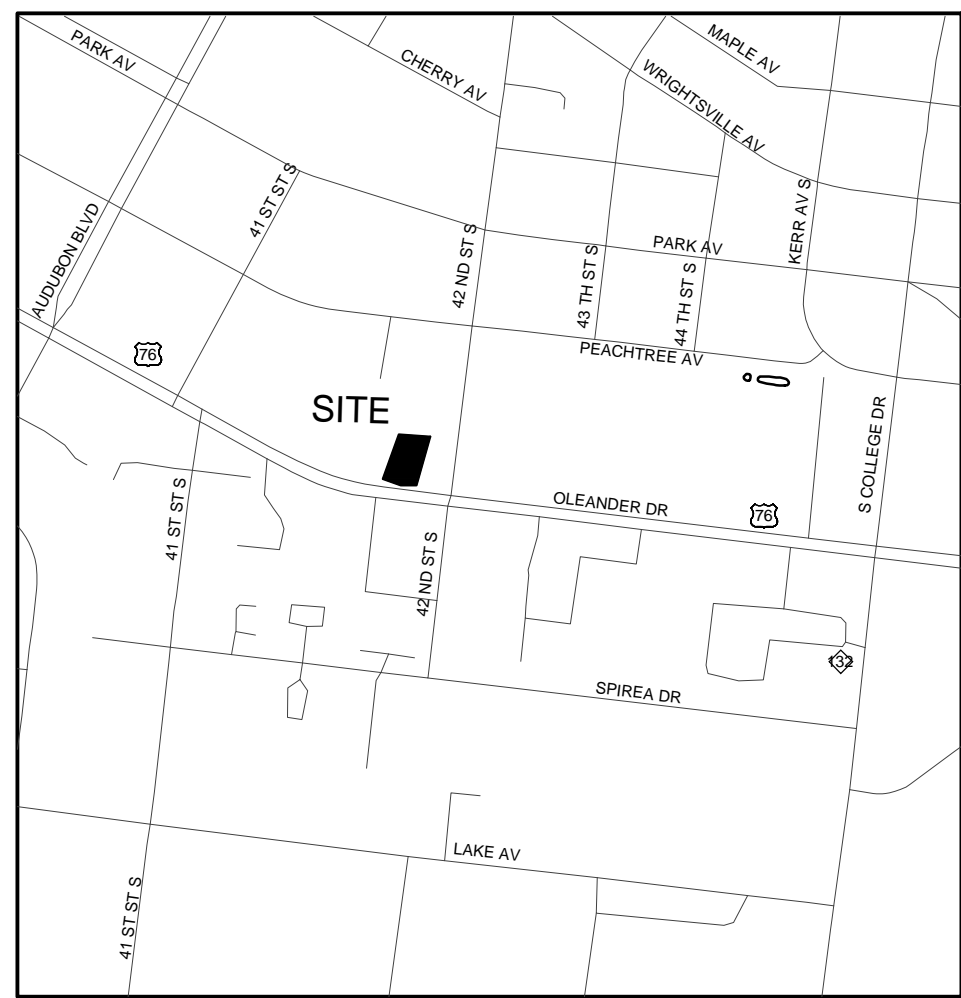
Planning \_\_\_\_\_ Traffic \_\_\_\_\_ Fire \_\_\_\_\_

Vertical sidebar containing: REVISIONS, CLIENT INFORMATION (4121 OLEANDER DRIVE, LLC), GENERAL NOTES, PROJECT STATUS, DRAWING INFORMATION, SEAL, and PEI JOB#: 15332.PE



RELEASED FOR CONSTRUCTION

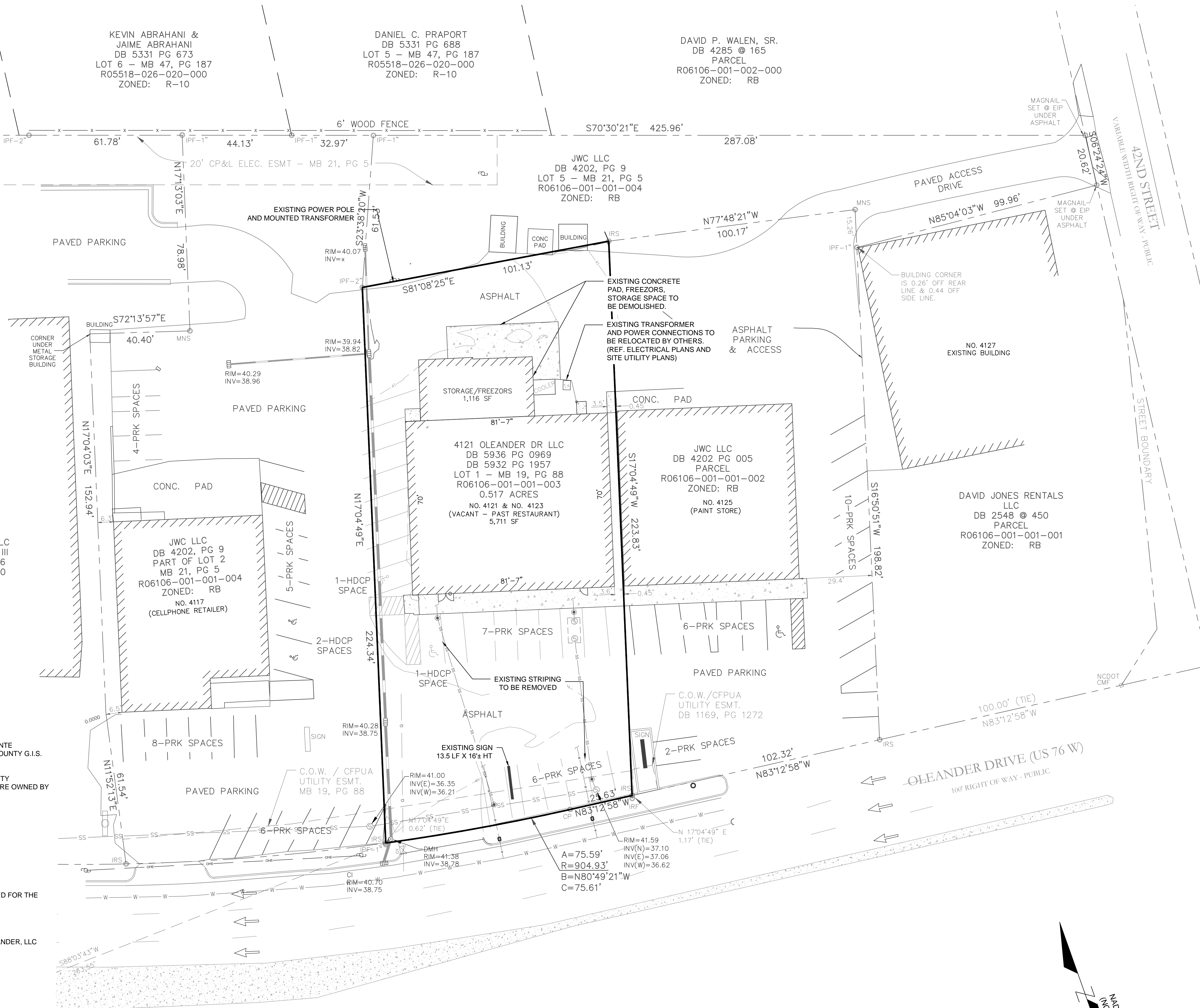




**LOCATION MAP**  
NOT TO SCALE

- LEGEND:**
- OHE — OVERHEAD ELECTRIC
  - BOT — BURIED TELEPHONE LINE
  - G — BURIED GAS LINE
  - UTV — BURIED TV CABLE
  - FO — BURIED FIBER OPTIC
  - W — WATER LINE
  - SS — SANITARY SEWER LINE
  - SD — STORM DRAINAGE LINE
  - X — FENCE (TYPE AS SPECIFIED)
  - — — — — EXISTING CONTOUR
  - — — — — RIGHT OF WAY/BOUNDARY
  - — — — — BOUNDARY LINE

ANDERSON SQUARE, LLC  
CONDOMINIUM—PHASE III  
CONDO BK 15, PG 186  
R05518-026-015-000  
ZONED: RB



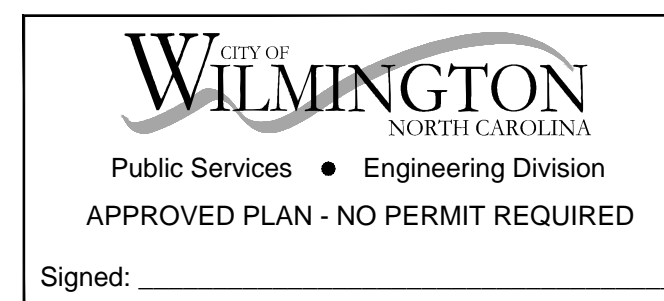
**SITE INVENTORY NOTES**

1. SITE BOUNDARY AND TOPOGRAPHY TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
2. EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.
3. NO TREES ARE ON THE PROPERTY.
4. SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
5. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
6. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
7. NO 404 WETLAND AREAS EXIST ON THE SITE.
8. PORTIONS OF ASPHALT, CONCRETE, AND CURBING WILL BE DEMOLISHED AS NEEDED FOR THE PROPOSED IMPROVEMENTS.

**SITE ACCESS / PARKING NOTE:**

A RECIPROCAL EASEMENT AGREEMENT (DB 5932, PG 1957) EXISTS BETWEEN 4121 OLEANDER, LLC AND J.W.C., LLC FOR ACCESS AND MAINTENANCE OF THE ADJOINING ASPHALT DRIVES.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



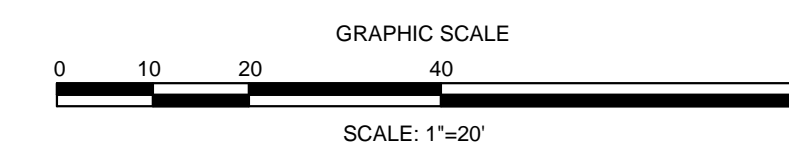
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



REVISIONS:

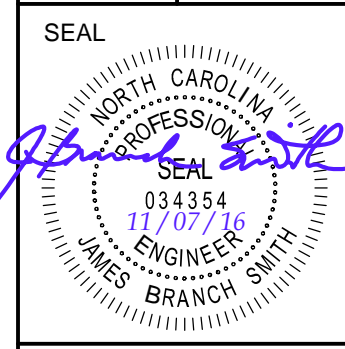
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**PARAMOUNT ENGINEERING, INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**SITE INVENTORY PLAN (DEMOLITION PLAN)**  
4121 OLEANDER DRIVE  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.:

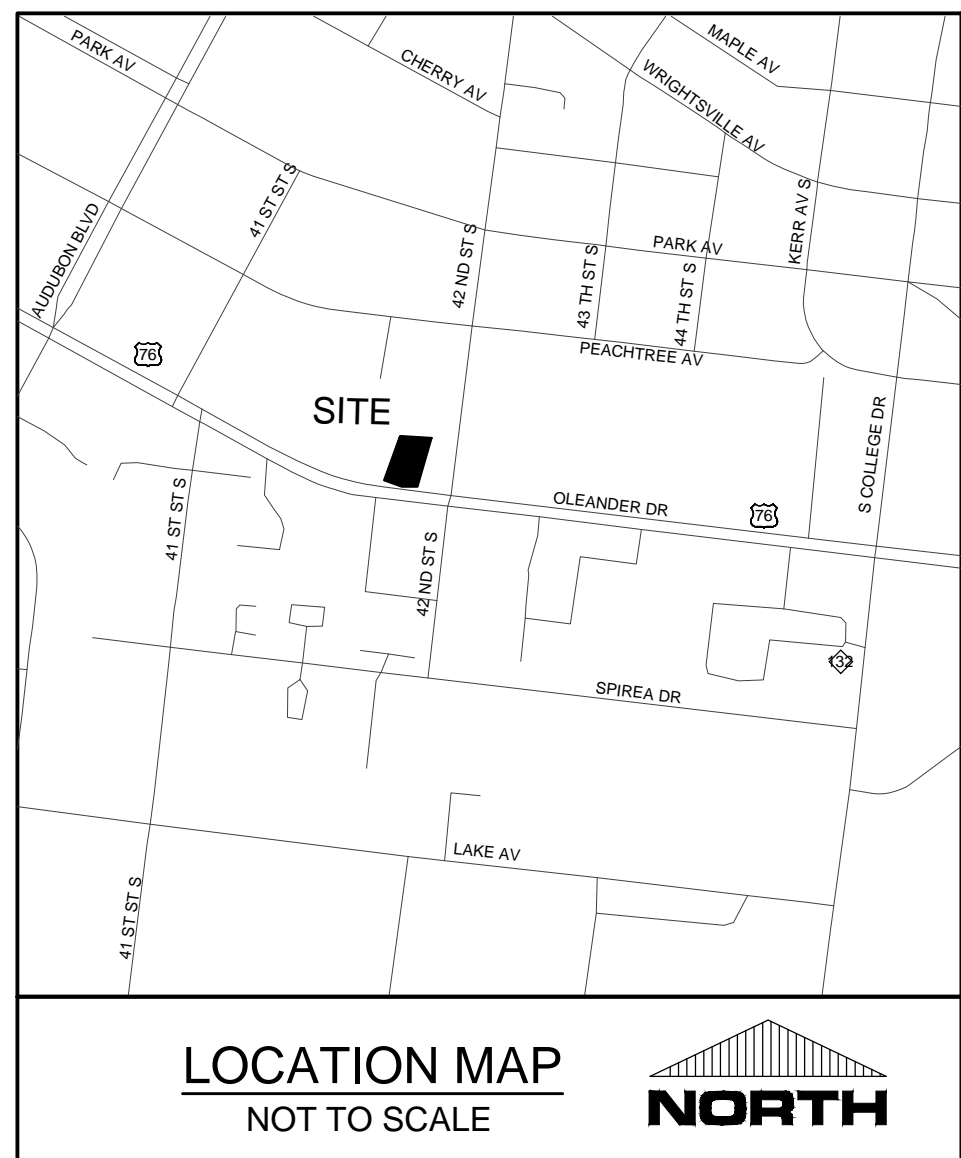
DRAWING INFORMATION:  
DATE: 3/7/18  
DESIGNED: RFB  
DRAWN: CLM  
CHECKED: RFB



**C-2.0**  
PEI JOB#: 15332.PE

RELEASED FOR CONSTRUCTION





**SITE DATA**  
 PROJECT NAME: ADVANCE AUTO PARTS STORE #105349  
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403  
 NHC PIN: R06106-001-001-003  
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC  
 SOURCE DEED: DEED BOOK 5932, PAGE 1957  
 AREA: 22,509± SF OR 0.52± ACRES  
 ZONING: RB (REGIONAL BUSINESS)  
 PROPOSED USE: RETAIL (AUTO PARTS SALES)  
 CAMA LAND USE: URBAN  
 EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

**DIMENSION REQUIREMENTS**

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'

MAXIMUM HEIGHT: 35' (REQUIRED) / 16'-2" (PROVIDED)

**BUILDING INFORMATION**  
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)  
 EXISTING BUILDING LOT COVERAGE: 30.3%  
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)  
 TOTAL BUILDING AREA PROPOSED: 7,504 SF  
 PROPOSED BUILDING LOT COVERAGE: 33.3%  
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

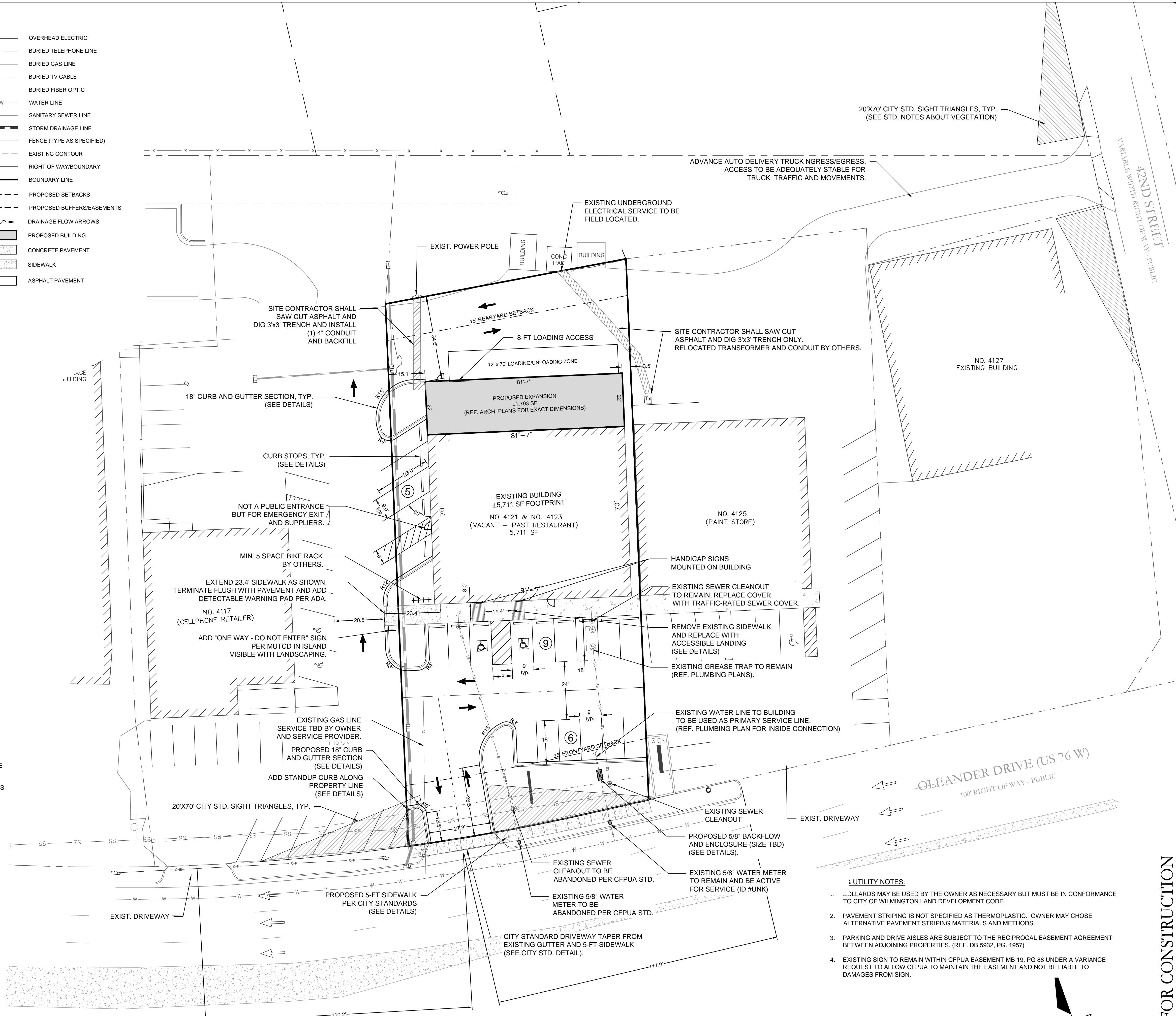
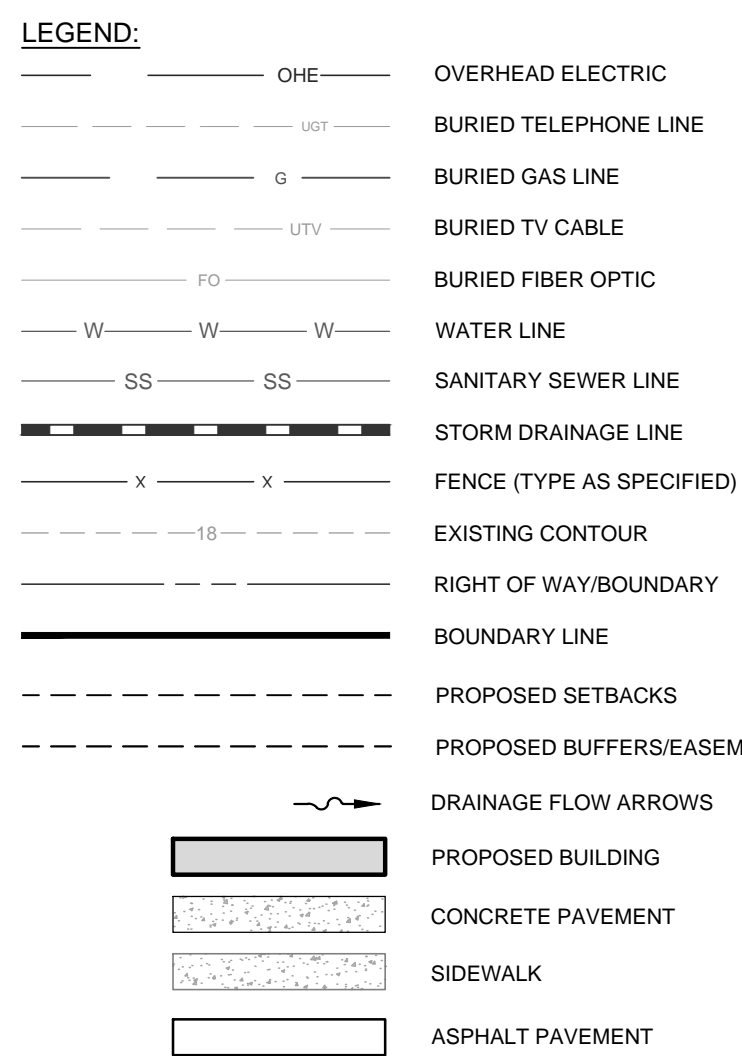
**PARKING INFORMATION**  
 PARKING REQUIREMENTS (RETAIL):  
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 19  
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 38  
 PROVIDED: 20 SPACES  
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES  
 HC SPACES PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 5 SPACES  
 BICYCLE PARKING PROVIDED: 5 SPACES

**IMPERVIOUS CALCULATIONS**

EXISTING BUILDING	6,827 SF
EXISTING PAVEMENT	13,956 SF
EXISTING CONCRETE	2,088 SF
EXISTING TOTAL	22,871 SF
PROPOSED BUILDING EXP.	1,793 SF
PROPOSED CURBING & WALKS	599 SF
PROPOSED TOTAL IMPERVIOUS	2,383 SF << 2500 SF

POST-DEVELOPED IMPERVIOUS TOTAL: 20,525 SF (NET -2,346 SF)

- SITE INVENTORY NOTES**
- SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
  - EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
  - NO TREES ARE ON THE PROPERTY.
  - SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
  - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
  - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
  - NO 404 WETLAND AREAS EXIST ON THE SITE.
  - ALL UTILITIES TO REMAIN UNDERGROUND. GREASE TRAPS MAY NEED TO BE ABANDONED AND FILLED AND CLEANOUTS REROUTED. OVERHEAD POWER TO REMAIN. UTILITIES SHALL CONFORM TO CROSS-CONNECTION REGULATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
  - TRASH TO BE STORED IN ROLL-OUT CONTAINER(S) FROM STORE. SHARED DUMPSTER BETWEEN ADJOINING OWNERS IS NOT PLANNED AT THIS TIME.
  - NEW BUILDING SIGNS WILL BE LOCATED AND APPROVED BY THE NEW HANOVER COUNTY PLANNING DEPARTMENT. SITE FREESTANDING SIGNS OR MODIFICATIONS TO BE APPROVED BY CITY OF WILMINGTON.
  - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREA SHALL BE WHITE.
  - NO EXISTING DRIVEWAYS ARE TO BE CLOSED UNLESS NCDOT PLANS SPECIFY OTHERWISE.
  - HEATING/AIR EQUIPMENT IS LOCATED WITHIN THE BUILDING FOOTPRINT.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
  - PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
  - ANY GROUND LEVEL MECHANICAL EQUIPMENT TO BE SCREENED AS NECESSARY.
  - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN 30-INCHES AND 10-FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.



20'X70' CITY STD. SIGHT TRIANGLES, TYP. (SEE STD. NOTES ABOUT VEGETATION)

ADVANCE AUTO DELIVERY TRUCK INGRESS/EGRESS. ACCESS TO BE ADEQUATELY STABLE FOR TRUCK TRAFFIC AND MOVEMENTS.

EXISTING UNDERGROUND ELECTRICAL SERVICE TO BE FIELD LOCATED.

SITE CONTRACTOR SHALL SAW CUT ASPHALT AND DIG 3'X3' TRENCH AND INSTALL (1) 4" CONDUIT AND BACKFILL

SITE CONTRACTOR SHALL SAW CUT ASPHALT AND DIG 3'X3' TRENCH ONLY. RELOCATED TRANSFORMER AND CONDUIT BY OTHERS.

18" CURB AND GUTTER SECTION, TYP. (SEE DETAILS)

PROPOSED EXPANSION 1,793 SF (REF. ARCH. PLANS FOR EXACT DIMENSIONS)

EXISTING BUILDING 5,711 SF FOOTPRINT (VACANT - PAST RESTAURANT) 5,711 SF

NO. 4125 (PAINT STORE)

CURB STOPS, TYP. (SEE DETAILS)

NOT A PUBLIC ENTRANCE BUT FOR EMERGENCY EXIT AND SUPPLIERS.

MIN. 5 SPACE BIKE RACK BY OTHERS.

EXTEND 23.4' SIDEWALK AS SHOWN. TERMINATE FLUSH WITH PAVEMENT AND ADD DETECTABLE WARNING PAD PER ADA.

NO. 4117 (CELLPHONE RETAILER)

ADD 'ONE WAY - DO NOT ENTER' SIGN PER MUTCD IN ISLAND VISIBLE WITH LANDSCAPING.

HANDICAP SIGNS MOUNTED ON BUILDING

EXISTING SEWER CLEANOUT TO REMAIN. REPLACE COVER WITH TRAFFIC-RATED SEWER COVER.

REMOVE EXISTING SIDEWALK AND REPLACE WITH ACCESSIBLE LANDING (SEE DETAILS)

EXISTING GREASE TRAP TO REMAIN (REF. PLUMBING PLANS).

EXISTING WATER LINE TO BUILDING TO BE USED AS PRIMARY SERVICE LINE. (REF. PLUMBING PLAN FOR INSIDE CONNECTION)

EXISTING GAS LINE SERVICE TBD BY OWNER AND SERVICE PROVIDER.

PROPOSED 18" CURB AND GUTTER SECTION (SEE DETAILS)

ADD STANDUP CURB ALONG PROPERTY LINE (SEE DETAILS)

20'X70' CITY STD. SIGHT TRIANGLES, TYP.

EXISTING SEWER CLEANOUT

PROPOSED 5/8" BACKFLOW AND ENCLOSURE (SIZE TBD) (SEE DETAILS).

EXISTING SEWER CLEANOUT TO BE ABANDONED PER CFPUA STD.

EXISTING 5/8" WATER METER TO REMAIN AND BE ACTIVE FOR SERVICE (ID #UNK)

PROPOSED 5-FEET SIDEWALK PER CITY STANDARDS (SEE DETAILS)

EXISTING 5/8" WATER METER TO BE ABANDONED PER CFPUA STD.

CITY STANDARD DRIVEWAY TAPER FROM EXISTING GUTTER AND 5-FT SIDEWALK (SEE CITY STD. DETAIL).

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

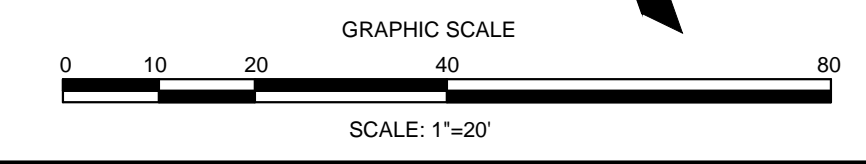
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



REVISIONS:

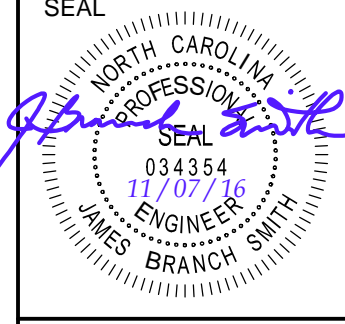
CLIENT INFORMATION:  
 4121 OLEANDER DRIVE, LLC  
 1131-B MILITARY CUTOFF ROAD  
 WILMINGTON, NC 28405

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-0707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**SITE & UTILITY PLAN**  
 4121 OLEANDER DRIVE  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

PROJECT STATUS:  
 CONCEPTUAL LAYOUT:  
 PRELIMINARY LAYOUT:  
 RELEASED FOR CONST.

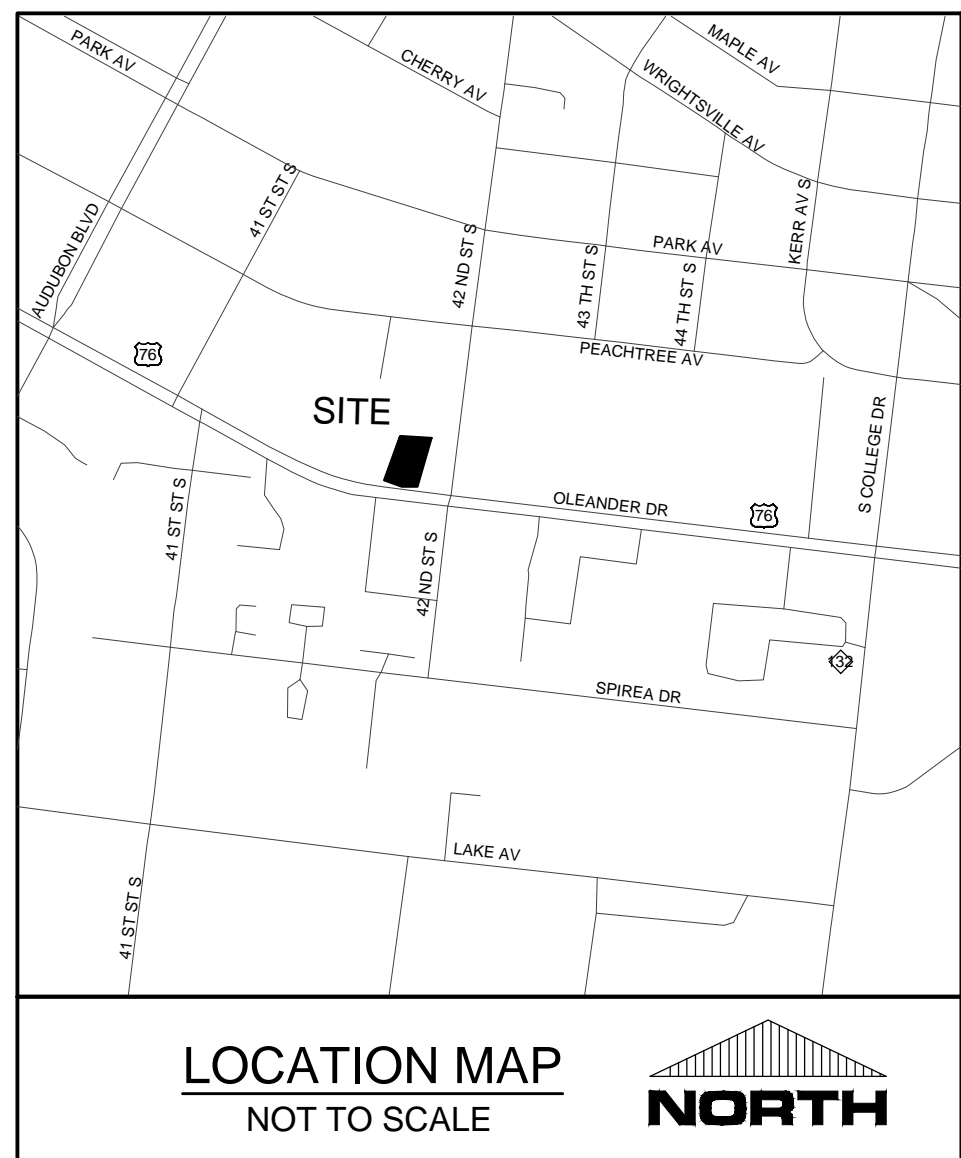
DRAWING INFORMATION:  
 DATE: 3/16/16  
 DRAWN: RFB  
 DESIGNED: RFB  
 CHECKED: RFB



**C-2.1**  
 PEI JOB#: 15332.PE

RELEASED FOR CONSTRUCTION





- LEGEND:**
- OHE — OVERHEAD ELECTRIC
  - BURIED TELEPHONE LINE
  - G — BURIED GAS LINE
  - UTV — BURIED TV CABLE
  - FO — BURIED FIBER OPTIC
  - W — WATER LINE
  - SS — SANITARY SEWER LINE
  - STORM DRAINAGE LINE
  - FENCE (TYPE AS SPECIFIED)
  - EXISTING CONTOUR
  - RIGHT OF WAY/BOUNDARY
  - BOUNDARY LINE
  - PROPOSED SETBACKS
  - PROPOSED BUFFERS/EASEMENTS
  - DRAINAGE FLOW ARROWS
  - PROPOSED BUILDING
  - CONCRETE PAVEMENT
  - SIDEWALK
  - ASPHALT PAVEMENT
  - SPOT ELEVATION

- SPOT GRADE LEGEND:**
- TC = TOP OF CURB ELEVATION
  - GC = GUTTER CURB (FLOW LINE) ELEVATION
  - PG = PROPOSED GRADE (GROUND)
  - PV = PROPOSED PAVEMENT
  - EP = EDGE OF PAVEMENT
  - EC = EDGE OF CONCRETE
  - HP = HIGH POINT ELEVATION
  - LP = LOW POINT ELEVATION
  - TW = TOP OF WALK (SIDEWALK) ELEVATION
  - CL = CENTERLINE
  - INV = INVERT
  - TWL = TOP OF WALL ELEVATION
  - BWL = BOTTOM OF WALL ELEVATION
  - (EG) = EXISTING GRADE
  - (XX) = EXISTING ELEVATIONS, TYP.

**EROSION CONTROL AND GRADING NOTES:**

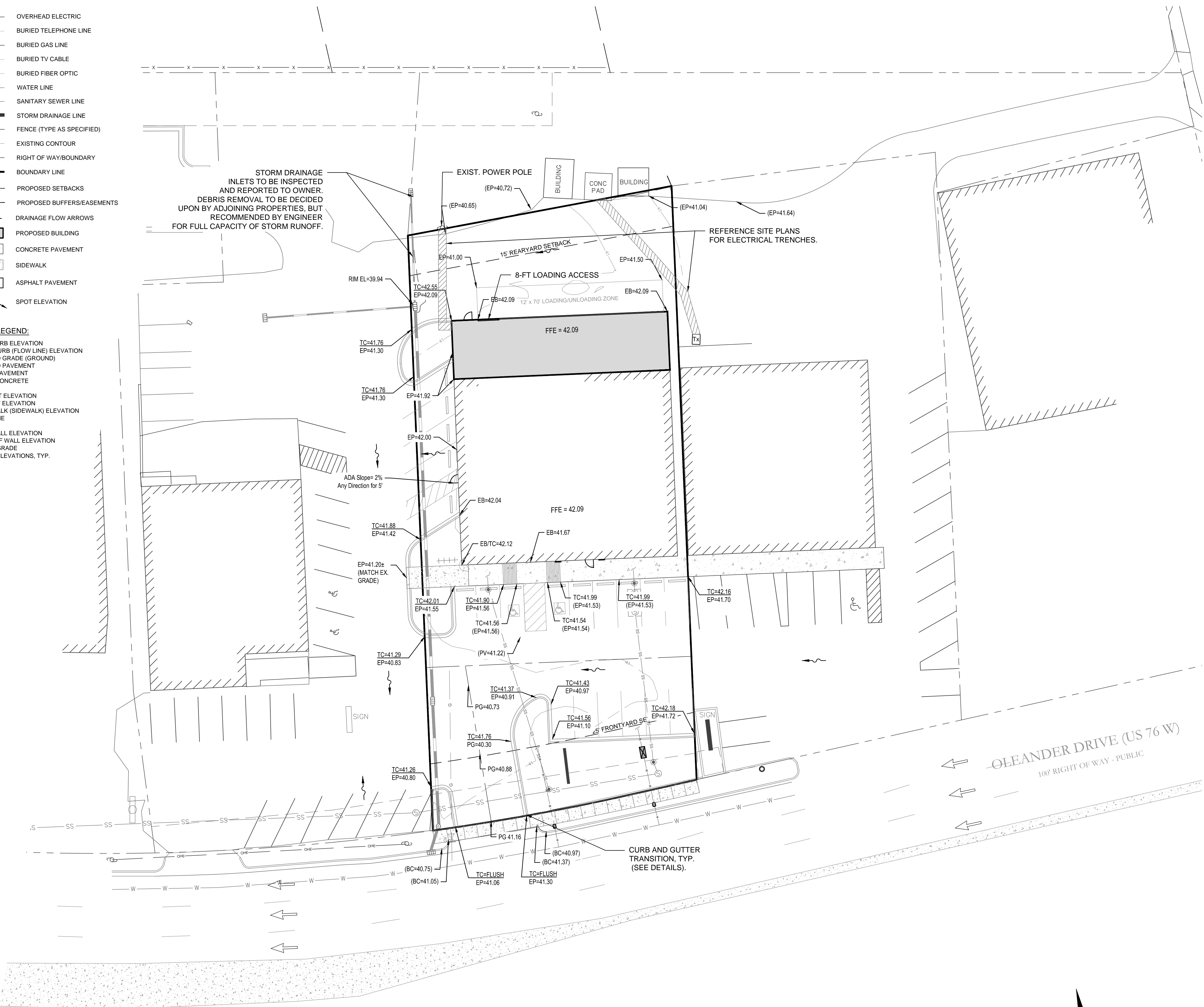
1. THERE IS NO EROSION CONTROL PERMIT NECESSARY SINCE LAND DISTURBANCE IS LESS THAN 1.0 ACRE. HOWEVER, FOLLOW GUIDELINES AND GENERAL NOTES SHEET FOR GRADING, DRAINAGE, AND EROSION CONTROL.
2. CONTRACTOR SHALL COORDINATE WITH OWNER OR OWNER'S REPRESENTATIVE REGARDING THE SITE'S EXISTING GRADE AFTER DEMOLITION OF THE REAR STRUCTURES.

**ASPHALT, CONCRETE, AND BUILDING PAD NOTES:**

1. SITE CONTRACTOR SHALL STRIP EXISTING PAVEMENT AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE IN [PROPOSED PAVEMENT AND STRUCTURAL AREAS, IN ACCORDANCE WITH A GEOTECHNICAL REPORT FROM OWNER OR FIELD DIRECTIONS BY ENGINEER.

**STORMWATER NOTE:**

1. THIS PROJECT DOES NOT REQUIRE A STATE STORMWATER PERMIT OR A STORMWATER MANAGEMENT PERMIT WITH THE CITY OF WILMINGTON. A DRAINAGE PLAN WILL NOT BE REQUIRED EITHER SINCE PROPOSED IMPERVIOUS AREAS ARE TO BE LESS THAN EXISTING IMPERVIOUS ON THE PROPERTY. REFERENCE EXISTING STORM DRAINAGE AND NOTES FOR MAINTENANCE.



STORM DRAINAGE INLETS TO BE INSPECTED AND REPORTED TO OWNER. DEBRIS REMOVAL TO BE DECIDED UPON BY ADJOINING PROPERTIES, BUT RECOMMENDED BY ENGINEER FOR FULL CAPACITY OF STORM RUNOFF.

REFERENCE SITE PLANS FOR ELECTRICAL TRENCHES.

ADA Slope= 2% Any Direction for 5'

CURB AND GUTTER TRANSITION, TYP. (SEE DETAILS).

OLEANDER DRIVE (US 76 W)  
100' RIGHT OF WAY - PUBLIC

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: \_\_\_\_\_

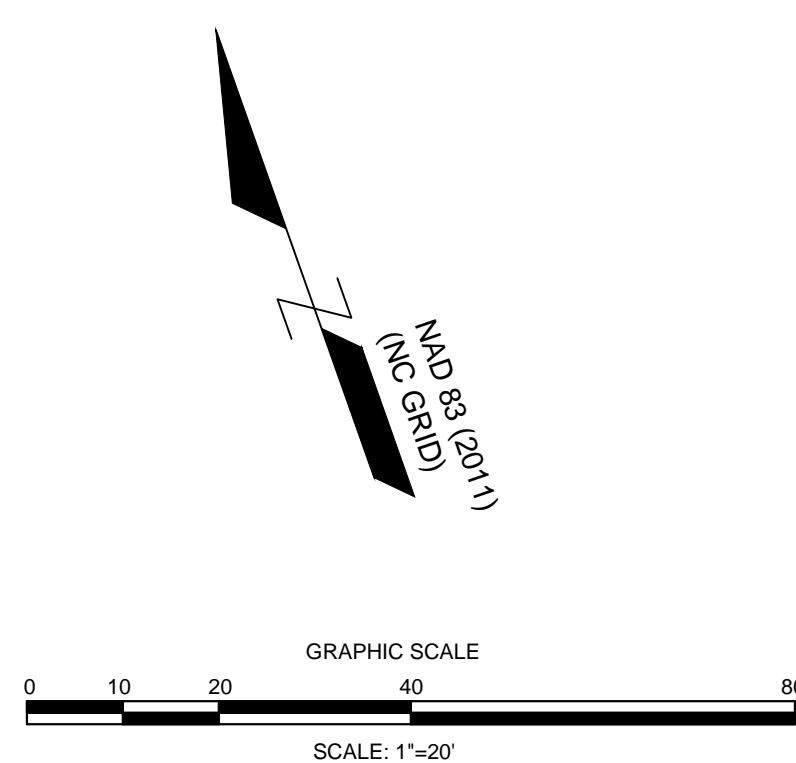
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

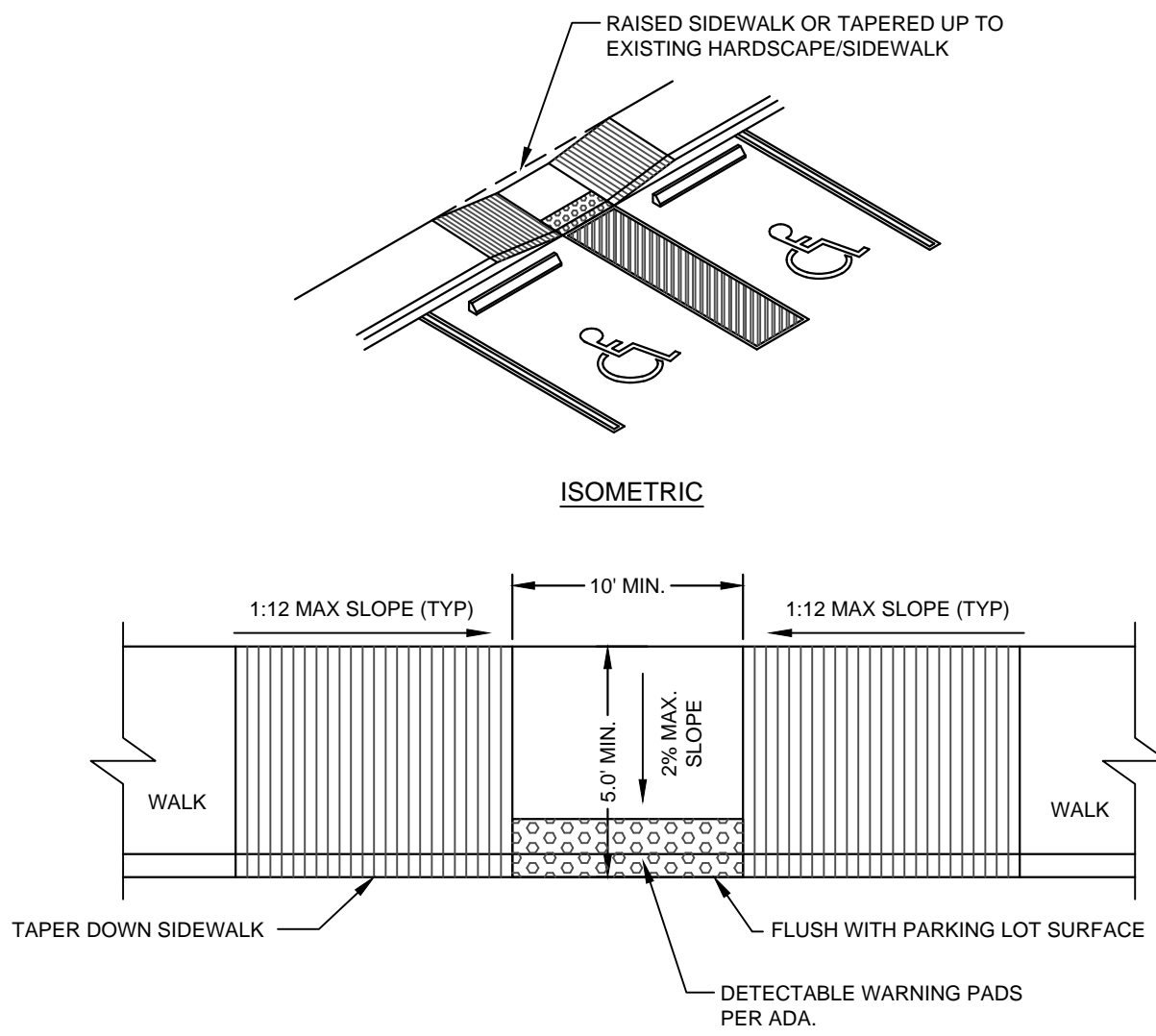
Fire \_\_\_\_\_



RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION:</p> <p><b>4121 OLEANDER DRIVE, LLC</b> 1131-B MILITARY CUTOFF ROAD WILMINGTON, NC 28405</p>	
<p><b>PARAMOUNT ENGINEERING</b> 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-0707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p><b>GRADING AND DRAINAGE PLAN</b></p> <p>4121 OLEANDER DRIVE CITY OF WILMINGTON NEW HANOVER COUNTY, NC</p>	
<p>PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.</p>	<p>DRAWING INFORMATION: DATE: 3/16/16 RFB CLM RFB</p>
<p>SEAL</p> <p><b>James Branch Smith</b> Professional Engineer No. 034354 Exp. 12/31/18 WILMINGTON, NC WILMINGTON, NC WILMINGTON, NC</p>	
<p><b>C-3.0</b></p> <p>PEI JOB#: 15332.PE</p>	



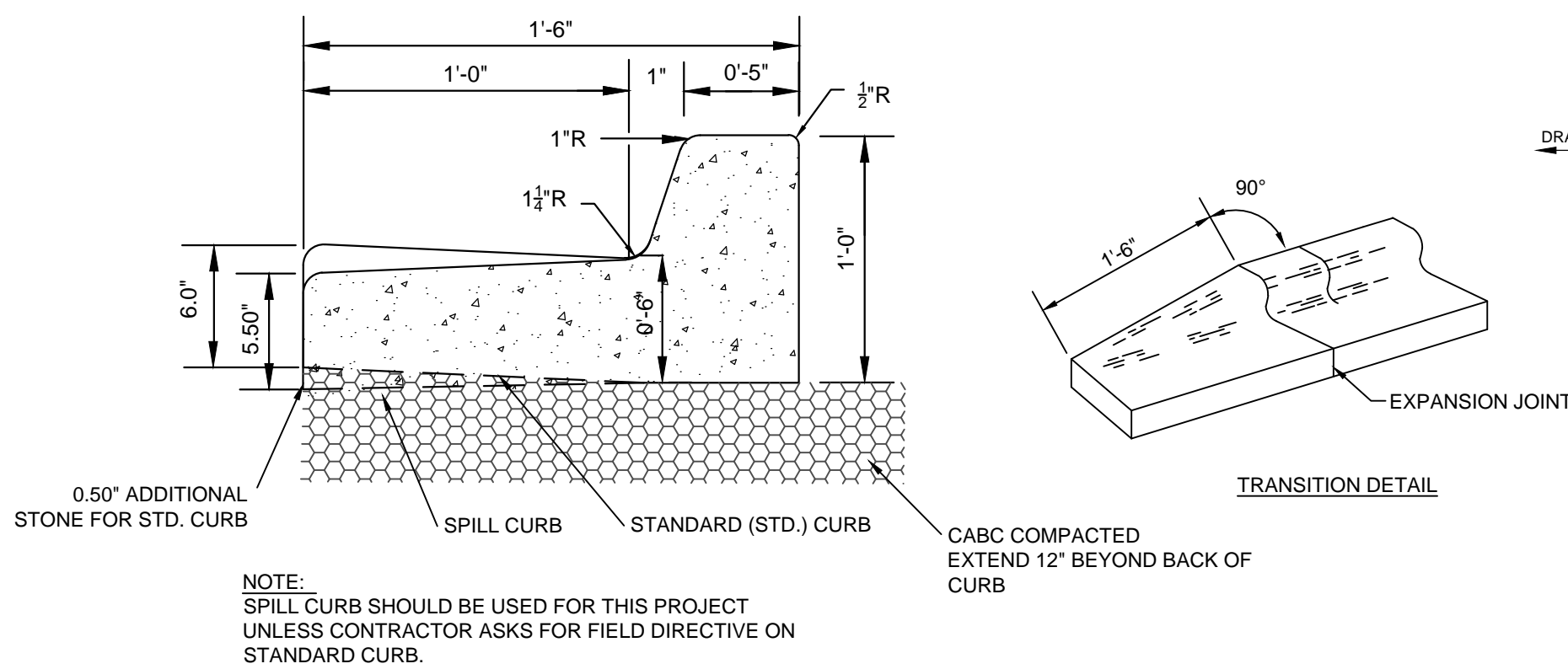


- NOTES:
- REBAR SPACING AND HOLE SIZES SHALL BE COORDINATED WITH WHEEL STOP MANUFACTURER.
  - REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS.

**CONCRETE WHEEL STOP DETAIL**  
NOT TO SCALE

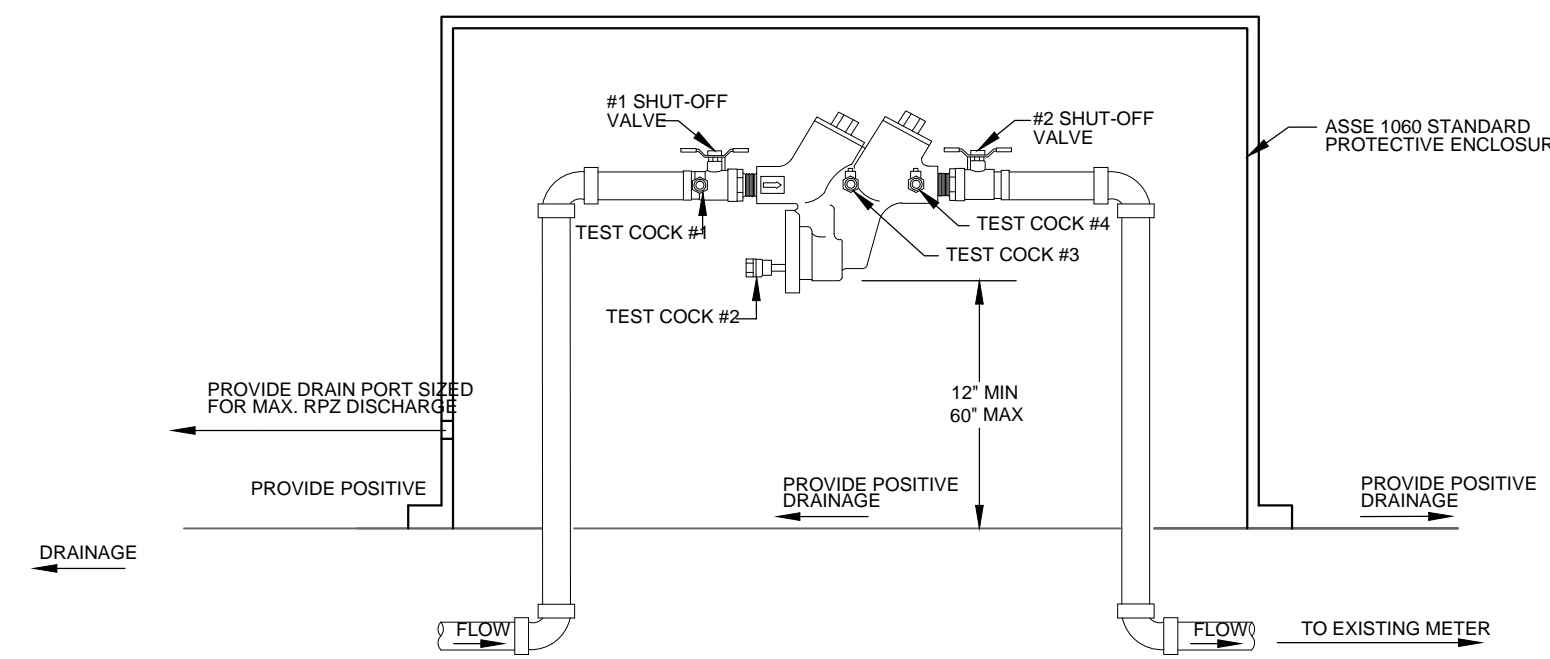
NOTE: REFER TO ADVANCE AUTO SITE DETAILS FOR PAVEMENT STRIPING.

**HANDICAP CURB ACCESS DETAIL**  
NOT TO SCALE



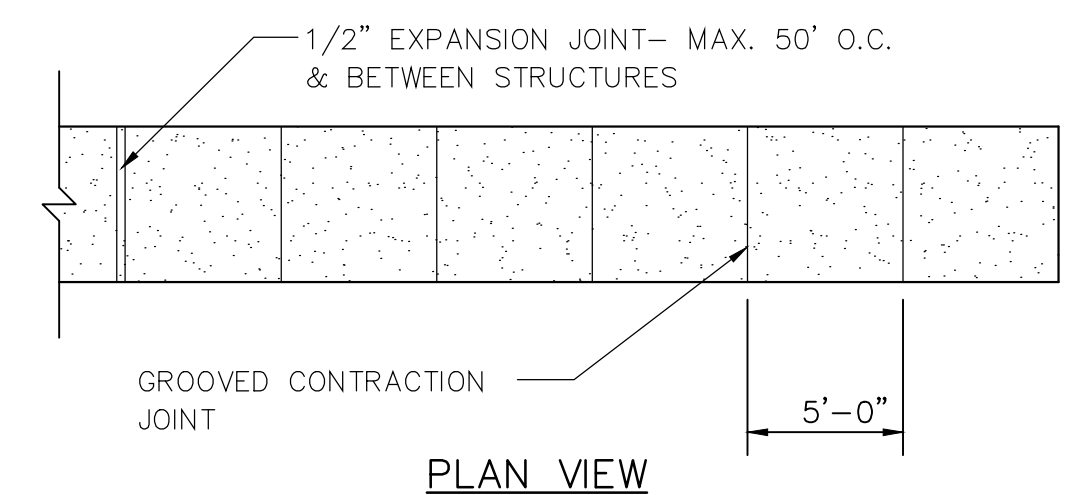
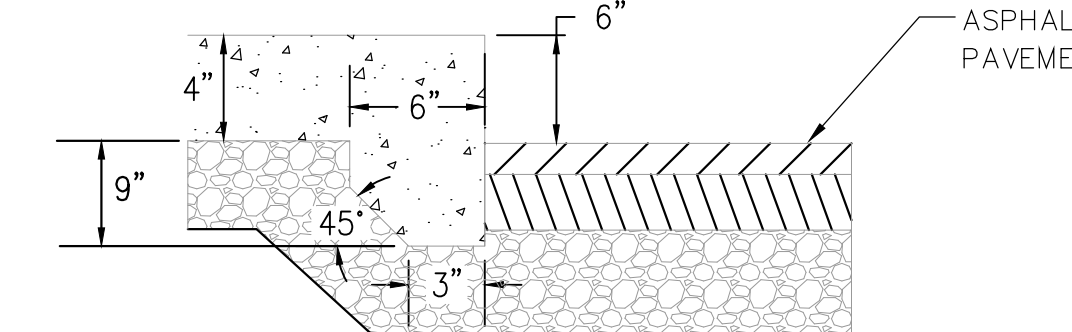
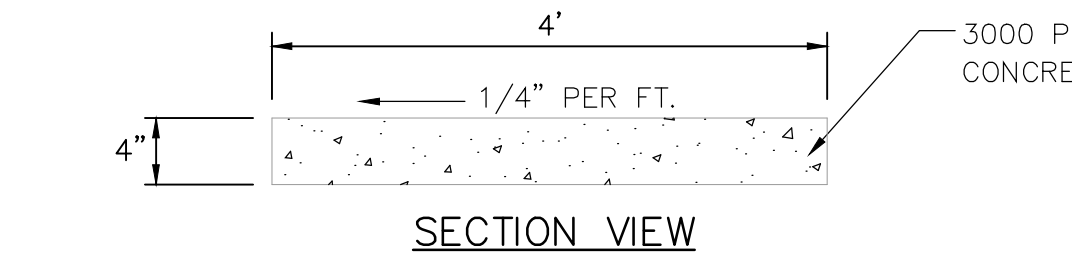
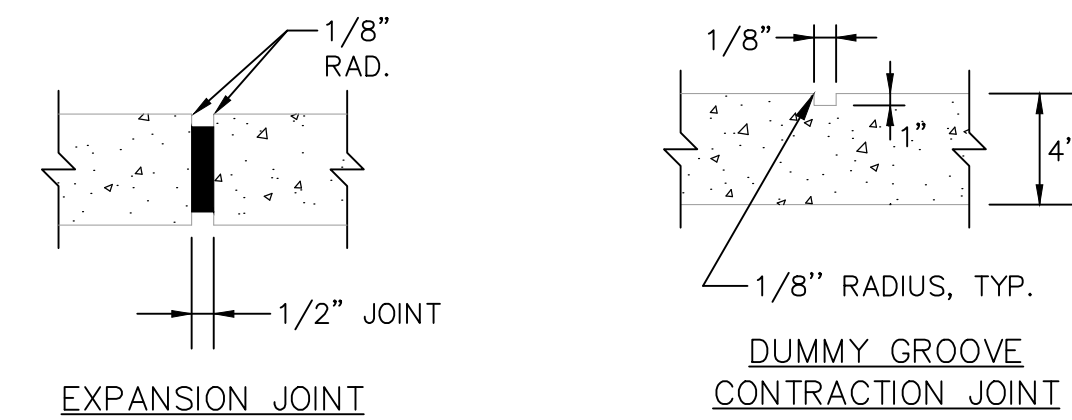
NOTE: SPILL CURB SHOULD BE USED FOR THIS PROJECT UNLESS CONTRACTOR ASKS FOR FIELD DIRECTIVE ON STANDARD CURB.

**18\"/>CURB & GUTTER SECTION WITH TRANSITION DETAIL**  
NOT TO SCALE



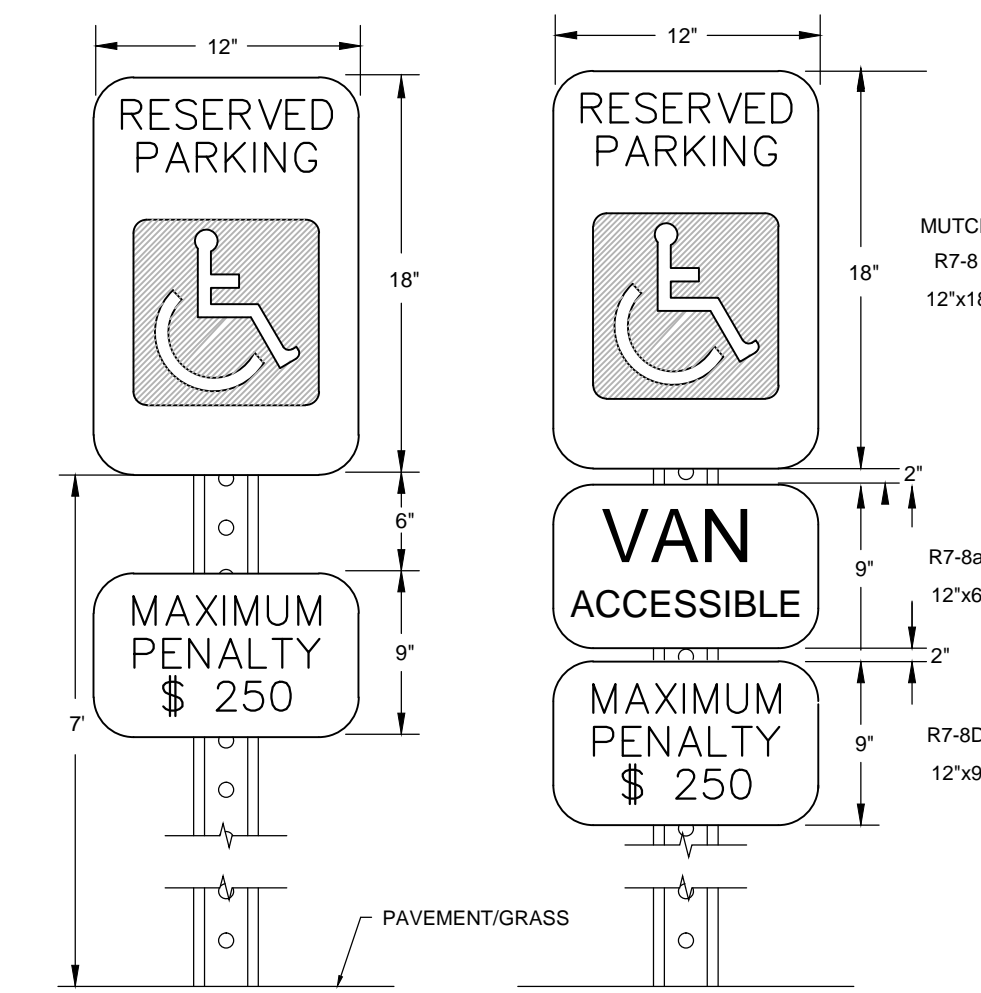
- BACKFLOW DEVICE NOTES:
- THE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED IN AN ACCESSIBLE LOCATION TO FACILITATE PERIODIC FIELD TESTING AND MAINTENANCE.
  - THE LOCATION SELECTED SHOULD HAVE ADEQUATE DRAINAGE FOR RELIEF VALVE DISCHARGE. THE DEVICE SHALL NOT BE PLACED WHERE IT MAY BECOME SUBMERGED IN STANDING WATER.
  - INSTALL THE DEVICE IN A HORIZONTAL POSITION WITH ADEQUATE CLEARANCE FROM WALLS AND/OR OBSTRUCTIONS. FOR TESTING AND MAINTENANCE, A 12" TO 30" CLEARANCE BETWEEN THE LOWER MOST PORTION OF THE DEVICE AND FLOOD GRADE OR FLOOR SHALL BE PROVIDED.
  - NO UNDERGROUND INSTALLATIONS ALLOWED.
  - REFERENCE CFPWA UTILITY STANDARDS AND SPECIFICATIONS FOR OTHER REQUIREMENTS.

**OUTDOOR HORIZONTAL INSTALLATION - REDUCED PRESSURE PRINCIPLE ASSEMBLY**  
NOT TO SCALE



- NOTES:
- REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

**SIDEWALK AND TURN-DOWN WALK DETAILS**  
NOT TO SCALE



NOTES:

- METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-90.
- POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
- CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
- TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHCAL" TRANSPARENT FILE #639.
- REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
- SIGN LETTERING SHALL BE NPS MODIFIED CLARENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
- CORNER RADIUS OF SIGNS SHALL BE 2.5"
- ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
- MOUNT ON BUILDING OR METAL POST AS DIRECTED.

**HANDICAP SIGNAGE**  
NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: \_\_\_\_\_

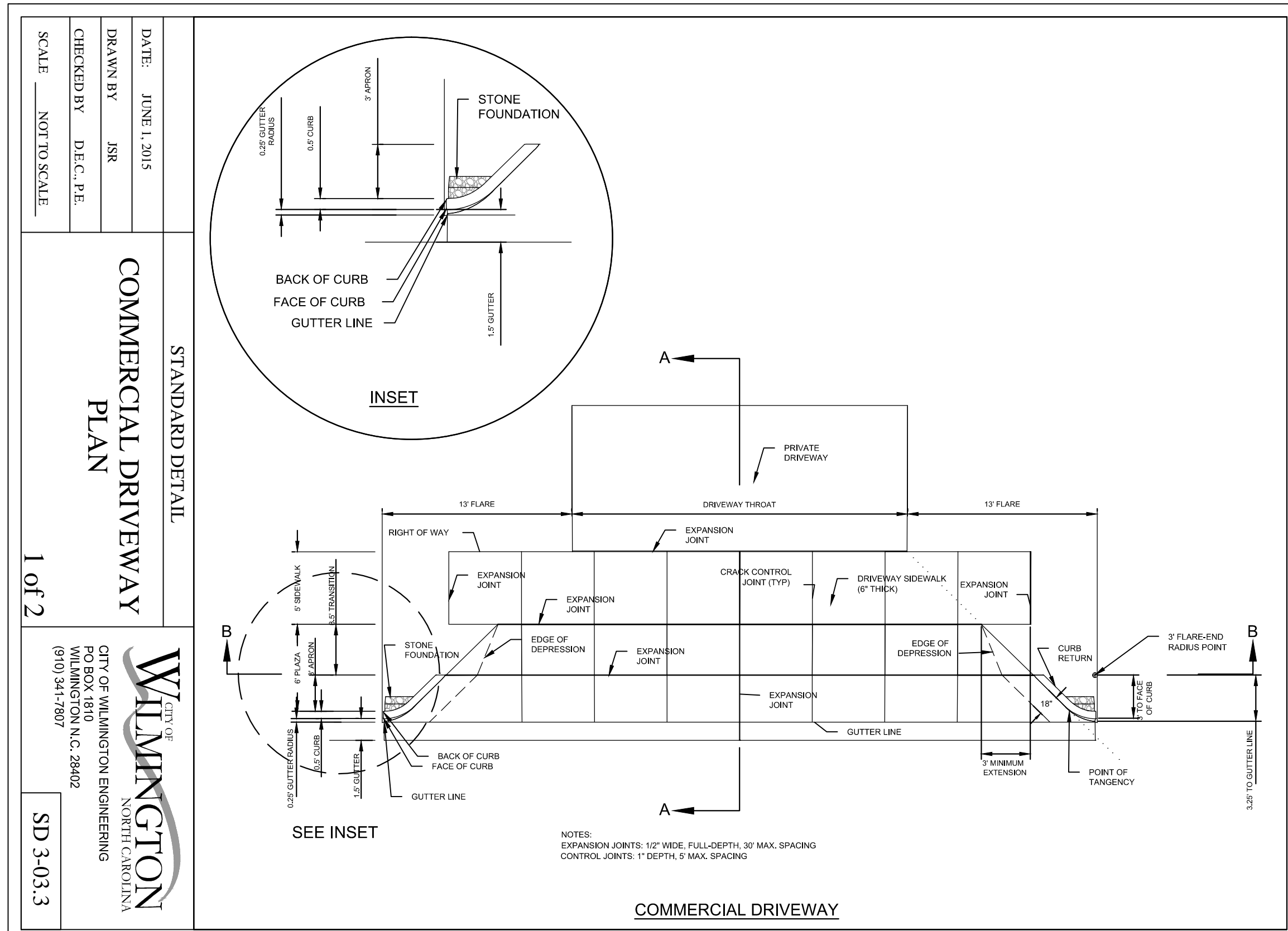
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

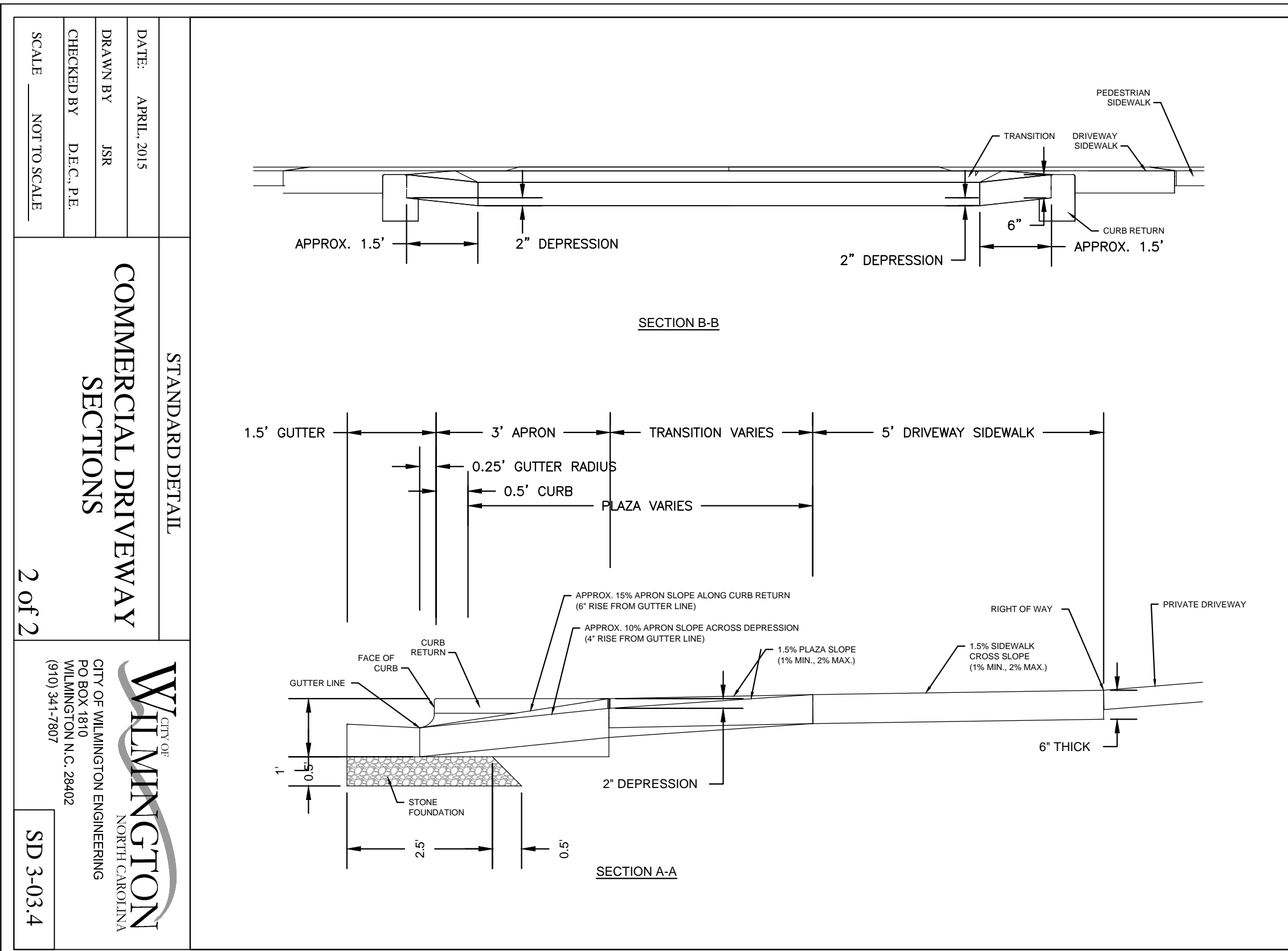
Traffic \_\_\_\_\_

Fire \_\_\_\_\_

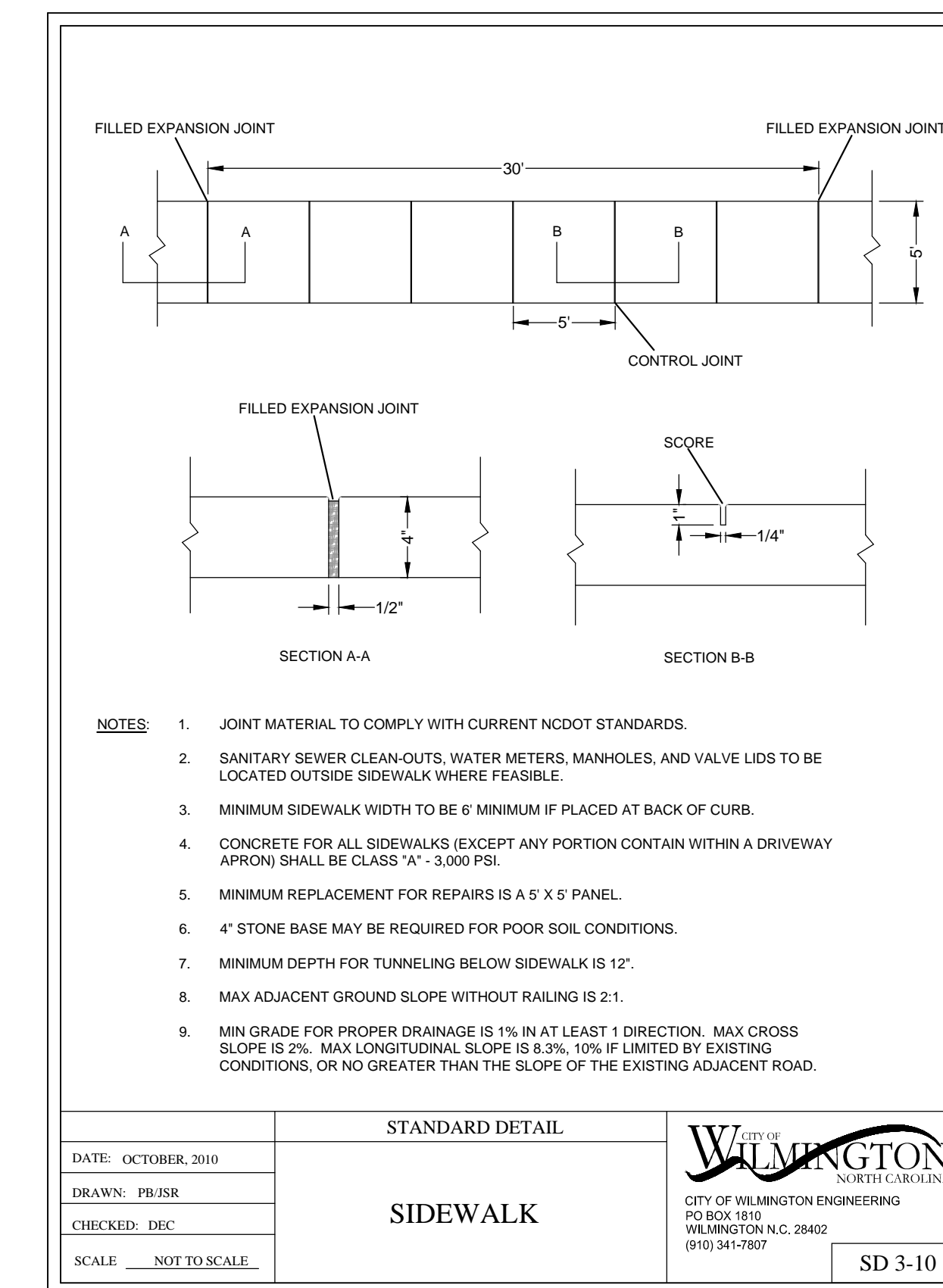


NOTES:  
EXPANSION JOINTS: 12" WIDE, FULL-DEPTH, 3/8" MAX. SPACING  
CONTROL JOINTS: 1" DEPTH, 5" MAX. SPACING

**COMMERCIAL DRIVEWAY**



**SD 3-03.4**



- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  - MINIMUM SIDEWALK WIDTH TO BE 6" MINIMUM IF PLACED AT BACK OF CURB.
  - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A", 3,000 PSI.
  - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
  - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
  - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.2%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER, 2010  
DRAWN: PBJSR  
CHECKED: DEC  
SCALE: NOT TO SCALE

**SIDEWALK**

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807

**SD 3-10**

RELEASED FOR CONSTRUCTION

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-0707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**4121 OLEANDER DRIVE, LLC**  
1131-B MILITARY CUTOFF ROAD  
WILMINGTON, NC 28405

**DETAILS**  
4121 OLEANDER DRIVE  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

**PROJECT STATUS**  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.

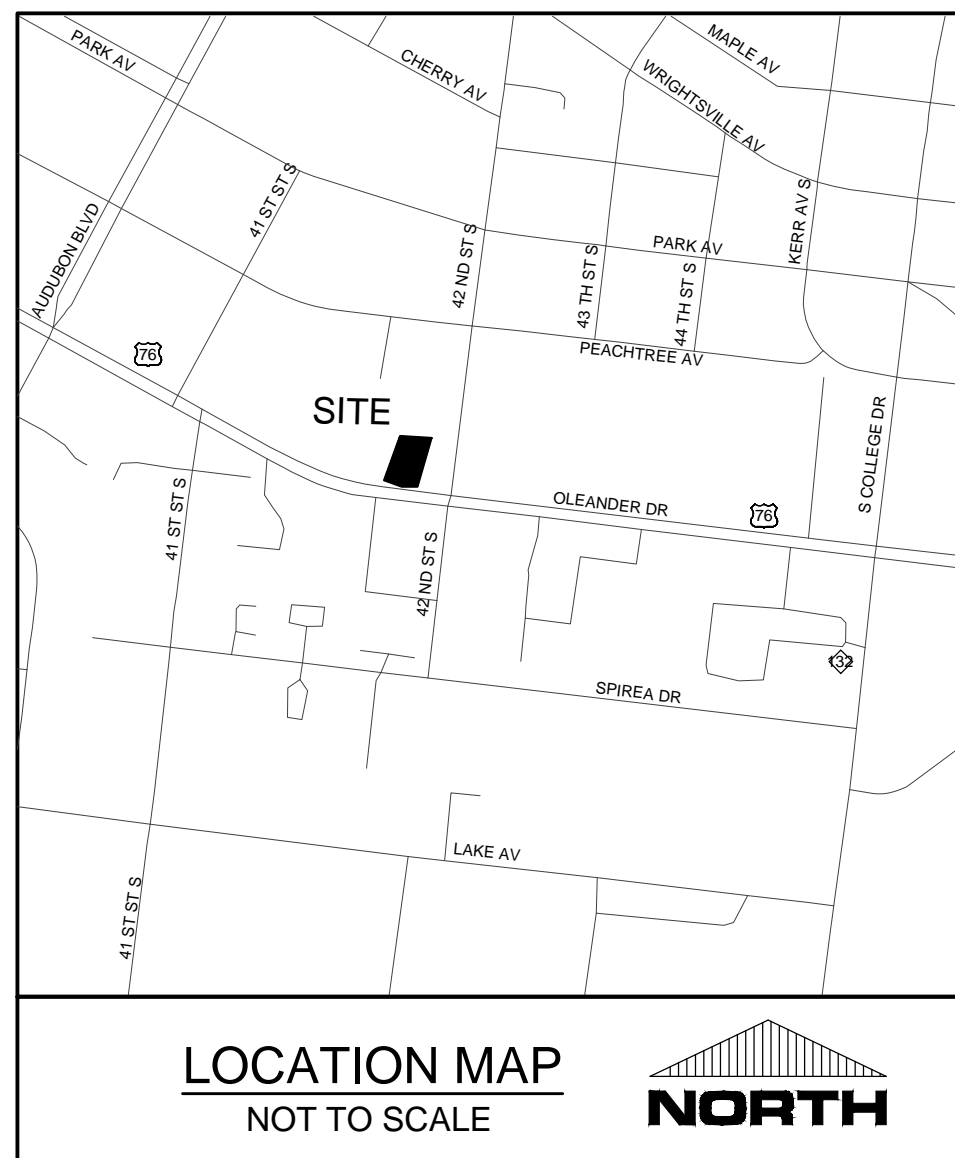
**DRAWING INFORMATION**  
DATE: 3/10/16  
DRAWN: PBJSR  
DESIGNED: PBJSR  
CHECKED: PBJSR

**SEAL**  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
034334  
P. J. B. S. R.

**C-4.0**

PEI JOB#: 15332.PE





**LEGEND:**

— OHE —	OVERHEAD ELECTRIC
---	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— UTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W — W — W —	WATER LINE
— SS — SS —	SANITARY SEWER LINE
— S — S —	STORM DRAINAGE LINE
— X — X —	FENCE (TYPE AS SPECIFIED)
---	EXISTING CONTOUR
---	RIGHT OF WAY/BOUNDARY
---	BOUNDARY LINE
---	PROPOSED SETBACKS
---	PROPOSED BUFFERS/EASEMENTS
→	DRAINAGE FLOW ARROWS
▒	PROPOSED BUILDING
▒	CONCRETE PAVEMENT
▒	SIDEWALK
▒	ASPHALT PAVEMENT

**SITE DATA**  
 PROJECT NAME: ADVANCE AUTO PARTS STORE #105349  
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403  
 NHC PIN: R06106-001-001-003  
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC  
 SOURCE DEED: DEED BOOK 5932, PAGE 1957  
 AREA: 22.50± SF OR 0.52± ACRES  
 ZONING: RB (REGIONAL BUSINESS)  
 PROPOSED USE: RETAIL (AUTO PARTS SALES)  
 CAMA LAND USE: URBAN  
 EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

**DIMENSION REQUIREMENTS**

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'
MAXIMUM HEIGHT	35'	16'-2"

**BUILDING INFORMATION**  
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)  
 EXISTING BUILDING LOT COVERAGE: 30.3%  
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)  
 TOTAL BUILDING AREA PROPOSED: 7,504 SF  
 PROPOSED BUILDING LOT COVERAGE: 33.3%  
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

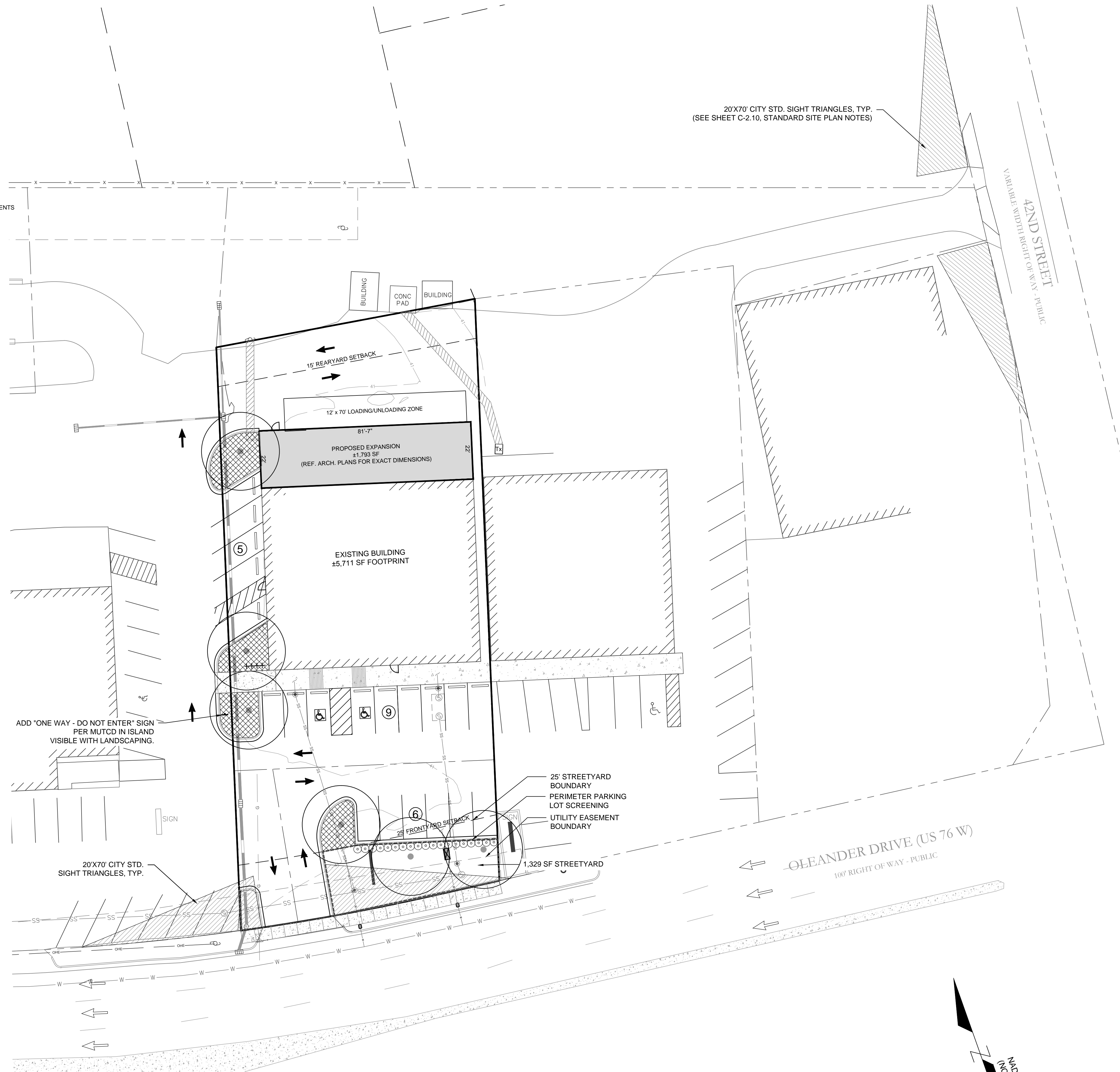
**PARKING INFORMATION**  
 PARKING REQUIREMENTS (RETAIL):  
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 19  
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 38  
 PROVIDED: 20 SPACES  
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES  
 HC SPACES PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 5 SPACES  
 BICYCLE PARKING PROVIDED: 5 SPACES

**LANDSCAPE CALCULATIONS**  
 STREET YARD REQUIRED: 813 SF  
 ((LENGTH OF PROPERTY FRONTAGE - DRIVEWAY) X 25) X 1/2'  
 ((101 LF - 36 LF) X 25 X 1/2 = 813 SF)  
 STREET YARD PROVIDED: 1,329 SF  
 STREET YARD TREES REQUIRED (0.5 / 600 SF): 2  
 STREET YARD TREES PROVIDED: 2  
 STREET YARD SHRUBS REQUIRED (3 / 600 SF): 6  
 STREET YARD SHRUBS PROVIDED: 19

INTERIOR LANDSCAPING REQUIRED: 746 SF  
 (6% OF VEHICULAR USE AREA)  
 12,431 SF X 0.06 = 746  
 INTERIOR LANDSCAPING PROVIDED: 2,828 SF  
 (4 TREES @ 707 SF = 2,828)

**PLANT SCHEDULE**

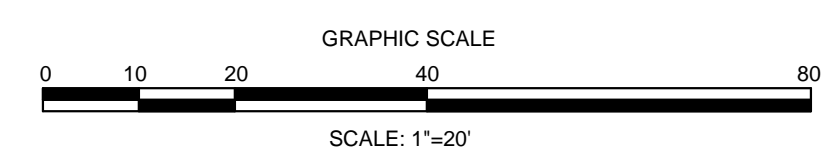
TREES	CODE	COMMON NAME	SIZE	QTY	REMARKS	
○	LO	SOUTHERN LIVE OAK Quercus virginiana	2.5" CAL.	6		
SHRUBS	CODE	COMMON NAME	CONT	QTY	REMARKS	
○	DYH	DWARF YAUPON (5' X 5') Ilex vomitoria 'Nana'	3 GAL	19		
GROUND COVERS	CODE	COMMON NAME	CONT	SPACING	QTY	REMARKS
▒	AJ	ASIATIC JASMINE Trachelospermum asiaticum 'Asiatic'	1 GAL	18" o.c.	438	



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_



RELEASED FOR CONSTRUCTION

**REVISIONS:**


**CLIENT INFORMATION:**  
 4121 OLEANDER DRIVE, LLC  
 1131-B MILITARY CUTOFF ROAD  
 WILMINGTON, NC 28405

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**LANDSCAPE PLAN**  
 4121 OLEANDER DRIVE  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT:  
 PRELIMINARY LAYOUT:  
 RELEASED FOR CONST.

**DRAWING INFORMATION:**  
 DATE: 8/7/18  
 1"=20' SCALE  
 DESIGNED: JSC  
 DRAWN: JSC  
 CHECKED: RPB

**SEAL:**

**L-1.0**  
 PEI JOB#: 15332.PE